

INVER GROVE HEIGHTS CITY COUNCIL AGENDA
MONDAY, JULY 28, 2008
8150 BARBARA AVENUE
7:30 P.M.

1. CALL TO ORDER
2. ROLL CALL
3. PRESENTATIONS
4. CONSENT AGENDA – All items on the Consent Agenda are considered routine and have been made available to the City Council at least two days prior to the meeting; the items will be enacted in one motion. There will be no separate discussion of these items unless a Council member or citizen so requests, in which event the item will be removed from this Agenda and considered in normal sequence.
 - A. Minutes – July 14, 2008 Regular Council Meeting _____
 - B. Resolution Approving Disbursements for Period Ending July 23, 2008 _____
 - C. Pay Voucher No. 3 for the VMCC Refrigeration Project _____
 - D. Pay Voucher No. 2 for City Project No. 2003–15, Northwest Area Trunk Utility Improvements _____
 - E. Change Order No. 2 and Final Pay Voucher No. 4 for City Project No. 2007–09C, Mill and Overlay _____
 - F. Change Order No. 1 and Final Pay Voucher No. 2 for City Project No. 2008–09A, Joint and Cracksealing _____
 - G. Pay Voucher No. 9 for City Project No. 2003–15A, Northwest Area Utility Improvements, Lift Station R–9.1 _____
 - H. Pay Voucher No. 5 for City Project No. 2006–04, Drilling of City Well No. 9 _____
 - I. Approve Purchase of Upgrade to VersaView Software _____
 - J. Approve Purchase of Six Inch Pressure Reducing Station from Northwestern Power Equipment Company, Inc. _____
 - K. Approve Joint Powers Agreement with the City of St. Paul for the Republican National Convention _____
 - L. Approve Resolution Authorizing Execution of the Joint Traffic Safety Project Grant _____
 - M. Resolution Granting Extension to a Variance Approval for property located at 4080 Upper 61st Street (Joseph Huisman) _____
 - N. Approve Proposal for Land Surveying Services _____
 - O. Authorize Purchase of Weather Warning Siren _____

P. Schedule Public Hearing _____

Q. Personnel Actions _____

5. **PUBLIC COMMENT** – Public comment provides an opportunity for the public to address the Council on items that are not on the Agenda. Please raise your hand to be recognized. Please state your name and address for the record. This section is for the express purpose of addressing concerns of City services and operations. Comments will be limited to three (3) minutes per person.

6. **PUBLIC HEARINGS:**

A. **CITY OF INVER GROVE HEIGHTS;** Resolution Ordering the Project, Approving Plans & Specifications, and Authorizing Advertisement for Bids for City Project 2008-09G, Cahill Avenue/Brooks Boulevard Mill and Overlay _____

B. **CITY OF INVER GROVE HEIGHTS;** Resolution Ordering City Project No. 2009-01, TH 3 and Amana Trail Intersection Improvements _____

7. **REGULAR AGENDA:**

COMMUNITY DEVELOPMENT:

A. **GRASS/NOTCH;** Consider Resolution relating to an **Easement Vacation** to Vacate a Dedicated Public Trail Easement between 10887 and 10883 Andes Circle _____

B. **A&W RESTUARANTS;** Consider Resolution relating to a **Preliminary and Final PUD Development Plan** for a drive-in/drive through fast food restaurant located on Buchanan Trail in Arbor Point _____

C. **CITY OF INVER GROVE HEIGHTS;** Consider the Second Reading of an **Ordinance Amendment** to modify Section 515.80, Subd. 8 of the Zoning Ordinance relating to maximum impervious surface coverage in the R-1A, R-1B and R-1C zoning districts _____

D. **CHARLES CUDD CO.;** Consider Resolution relating to a **Variance** to Exceed the Impervious Surface Requirements to Construct a House & Driveway for property located at 11662 Azure Lane _____

PUBLIC WORKS:

E. **CITY OF INVER GROVE HEIGHTS;** Consider Resolution Receiving Feasibility Study, Ordering Project, Approving Plans and Specifications and Authorizing Advertisement for Bids for City Project No. 2008-13, Courthouse Boulevard Court Street Improvements _____

F. **CITY OF INVER GROVE HEIGHTS;** Consider Resolution Ordering Project, Approving Plans and Specifications and Authorizing Advertisement for Bids for City Project No. 2008-10, TH 52 East Frontage Road, Ravine Storm Water Ponds _____

ADMINISTRATION:

G. CITY OF INVER GROVE HEIGHTS; Consider First Reading of an Ordinance Amending City Code Sections 300.33 and 300.35, Vacation Leave and Personal Leave _____

H. CITY OF INVER GROVE HEIGHTS; Consider Approval of the 2008 Non-Union Compensation Plan _____

I. CITY OF INVER GROVE HEIGHTS; Consider Authorizing Recruitment and Selection for Manager of Arena and Building Maintenance Operations _____

8. MAYOR AND COUNCIL COMMENTS

9. ADJOURN

**INVER GROVE HEIGHTS CITY COUNCIL MEETING
MONDAY, JULY 14, 2008 - 8150 BARBARA AVENUE**

CALL TO ORDER/ROLL CALL The City Council of Inver Grove Heights met in regular session on Monday, July 14, 2008, in the City Council Chambers. Mayor Tourville called the meeting to order at 7:30 p.m. Present were Council members Grannis, Klein, Madden and Piekarski Krech; City Administrator Lynch, Assistant Administrator Teppen, City Attorney Kuntz, Public Works Director Thureen, Community Development Director Link, Finance Director Lanoue, Parks & Recreation Director Carlson, Chief Thill and Recording Clerk Fox.

3. PRESENTATIONS:

A. Commission Member Recognition

Mayor Tourville recognized the following individuals for their service and dedication to the City of Inver Grove Heights: Anthony Sutton, Planning Commission, Kim Kuenzi, Parks and Recreation Commission, Richard Roberts, Planning Commission and Jim Huffman, Parks and Recreation Commission.

B. Progress Plus Update

Ellen Waters, Progress Plus, discussed the positive long-term development trends that are being projected for Inver Grove Heights. She stated that the demand for bulk warehouse space is stronger than it has been in four years and added that the amount of available industrial acreage within the City needs to be further explored. She commented on several properties being considered for occupancy and discussed the potential for those opportunities to bring approximately 200 jobs to the City. She also highlighted an aggressive marketing campaign by Progress Plus that will begin in the fall in an effort to build on the success of the brokers' tour that took place several months ago.

4. CONSENT AGENDA:

Mayor Tourville removed item **4C, Final Pay Voucher and Change Order No. 1 for the VMCC Gazebo** from the Consent Agenda.

Council Member Madden removed item **4E, Approve Purchase of Flag Poles for Inver Wood Golf Course** from the Consent Agenda.

Council member Piekarski Krech removed items **4I, Approve Hiring of Consultant for VMCC Parking Lot Expansion, 4X, Approve Job Description and Compensation for Fire Department Captain and 4Y, Approve Selection and Recruitment of Street Maintenance Superintendent and Manager of Arena and Building Maintenance Operations** from the Consent Agenda.

- A.** Minutes – June 23, 2008 Regular Council Meeting
- B.** **Resolution 08-157** Approving Disbursements for Period Ending July 9, 2008
- D.** Approve Bremer Fraud Management Service Agreement for Positive Pay Transactions
- F.** **Resolution 08-158** Approving Professional Service Contract with Dakota County Soil & Water Conservation District for City Project No. 2008-09D
- G.** **Resolution 08-159** Approve Agreement with Lakebridge Townhome Association 1, 2 & 3 and Lakebridge Townhome Association 4 for City Project No. 2008-09D
- H.** **Resolution 08-160** Accepting Bids and Awarding Contract for City Project No. 2008-09C, Mill & Overlay of Cenex Drive
- J.** Approve Request of Drkula's "32" Bowl for Temporary Liquor License Extension for Events to be held in conjunction with Inver Grove Heights Days
- K.** Approve Renewal of 2AM Liquor License for Drkula's "32" Bowl, 6710 Cahill Ave. E.
- L.** Approve Renewal of 2AM Liquor License for Jersey's Bar & Grill, 6449 Concord Blvd.

- M. Award Bid for Painting at Fire Stations 1 & 3 to MG Painting & Service, LLC
- N. Payment Voucher No. 8 – Northwest Area Utility Improvements, Lift Station R-9.1 (City Project 2003-15A)
- O. Payment Voucher No. 1 – Hilltop Elementary School – Safe Routes to School Program, City Project No. 2007-13
- P. **Resolution 08-162** Approving Final Compensating Change Order No. 3 and Final Pay Voucher No. 4 for City Project No. 2003-04, NE Quadrant Water Main Extension
- Q. Payment Voucher No. 1 for City Project No. 2008-09D, South Grove Urban Street Reconstruction – Area 3
- R. Payment Voucher No. 1 for City Project No. 2008-09A, Joint and Cracksealing
- S. **Resolution 08-161** Approving Final Compensating Change Order No. 1 and Final Pay Voucher No. 1 for City Project No. 2008-14, Kryzer Addition Drainage Improvements
- T. **Resolution 08-163** Approving Revised Joint Powers Agreement with Sunfish Lake for City Project Nos. 2007-09A and 2007-09B, 60th Street Cracksealing and Sealcoat
- U. Change Order No. 1 for City Project No. 2007-05 – Northwest Area Storm Water Overflows, Argenta Hills, Tasks 1-3 (Emmons and Olivier Resources, Inc.)
- V. **Resolution 08-165** Approving Southern Sanitary Sewer System Improvements Easement Acquisition Settlement – Clark Road Properties, LLC – Parcel 51
- W. **Resolution 08-166** Approving Heritage Village Park Declaration of Use Restrictions, Covenants and Reservations
- Z. Personnel Actions

Motion by Klein, seconded by Grannis to approve the Consent Agenda.

Ayes: 5

Nays: 0 Motion carried.

- C. Final Pay Voucher and Change Order No. 1 for the VMCC Gazebo

Mayor Tourville stated that Council received a revised voucher with a \$2.00 error that was corrected.

Motion by Klein, seconded by Grannis to approve the Final Pay Voucher and Change Order No. 1 for the VMCC Gazebo

Ayes: 5

Nays: 0 Motion carried.

- E. Approve Purchase of Flag Poles for Inver Wood Golf Course

Council member Madden stated that he thinks the total cost is excessive and expressed concerns regarding the number of expenditures and amendments being made to the budget.

Council member Grannis stated that over half of the cost for the flag pole was donated by the American Legion.

Mr. Carlson added that the American Legion may be willing to donate more money towards the purchase if asked to do so by the Council.

Council member Klein requested that the grass located at the front entrance at the golf course be watered.

Motion by Klein, seconded by Grannis to approve the purchase of Flag Poles for Inver Wood Golf Course with the condition that staff request additional funding from the American Legion.

Ayes: 4

Nays: 1 (Madden) Motion carried.

I. Approve Hiring of Consultant for VMCC Parking Lot Expansion

Frank Rauschnot Jr., 6840 Dixie Avenue, stated that spending money to hire a consultant is not necessary and he feels that the majority of the testing and planning for the project could be done by City staff. He stated that grading plans and other components could be part of a contractor's bid.

Council member Klein agreed that a consultant was not necessary and suggested that the project be put out for bid by a contractor.

Council member Piekarski Krech stated that she would agree that a consultant was unnecessary if a location for the lot had already been determined. She noted that she would not support a parking lot on the West end of the Armory because the grass would need to be removed.

Mayor Tourville commented that every project is looked at to see if work can be done internally before the hiring of a consultant is considered.

Motion by Madden, seconded by Grannis to approve Hiring of Consultant for VMCC Parking Lot Expansion

Ayes: 4

Nays: 1 (Klein) Motion carried.

X. Approve Job Description and Compensation for Fire Department Captain

Council member Piekarski Krech asked what the compensation would be.

Judy Thill, Fire Chief, responded that it would be \$250 per month for two positions.

Motion by Piekarski Krech, seconded by Madden to approve Job Description and Compensation for Fire Department Captain

Ayes: 5

Nays: 0 Motion carried.

Y. Approve Selection and Recruitment of:

- i. Street Maintenance Superintendent**
- ii. Manager of Arena and Building Maintenance Operations**

Council member Piekarski Krech referred to the Manager of Arena and Building Maintenance Operations position and stated that she is concerned with the desirable qualifications listed. She explained that she did not agree with hiring someone and then paying them to get the necessary training for the job. She questioned why the training was not a requirement to be hired for the position.

Mr. Carlson responded that staff came up with the description that they felt would best suit the needs of the facility in the future. He explained that the position would oversee the maintenance staff but would ultimately be more sales-oriented. He noted that the City often uses contractors to perform heavy-duty maintenance work.

Council member Piekarski Krech stated that the best option may be to separate the position into two so that one person would be in charge of the maintenance staff and one person would manage the arena and be in charge of sales.

Mayor Tourville suggested that more information be gathered and that the item be placed on a work session agenda for further discussion.

Council member Klein suggested that a current staff member be sent to get a boilers license.

Council member Piekarski Krech noted that it had been previously stated that if the City paid for someone to obtain the boilers license they wouldn't have to bring contractors in to do the work.

Motion by Piekarski Krech, seconded by Klein to approve selection and recruitment of Street Maintenance Superintendent**Ayes: 5****Nays: 0 Motion carried.**

Mayor Tourville stated that no action would be taken on item 4Yii and that more information would be gathered and presented to the Council at a later date.

5. PUBLIC COMMENT: None.

6. PUBLIC HEARINGS:

A. CITY OF INVER GROVE HEIGHTS; Consider Modification to the Capital Improvement Plan Relating to the Expansion & Renovation of the Public Safety & Municipal Facility and Consider Giving Preliminary Approval to Issue Capital Improvement Plan Bonds in an Amount Not to Exceed \$25,000,000.

Ms. Teppen reviewed the history of the project including the results of the space needs analysis that was completed in 2005 and the appointment of the Task Force to review the analysis and make a recommendation to the City Council. She discussed the Task Force recommendation to proceed with the Schematic Design process and its' final recommendation to proceed with the expansion and renovation project that included specific sustainability options as well as the proposed issuance of Capital Improvement Plan Bonds as the financing method.

Tom Bartholomew, 8120 Claymore Avenue, stated that he was a member of the task force and reminded the Council that the Task Force recommendations were unanimous. He explained that the bond rates are favorable and the labor rate is reasonable. He noted if the project is delayed the costs will increase 6 to 8% per year. He recognized that the main concern residents have is with the increase taxes and noted that the project is necessary as the community continues to grow. He stated that he believes that the cost of the project will be less than what is anticipated due to the favorable bidding climate and the contingencies that are included in the overall project budget.

Council member Madden asked if the green roof option was recommended by the Task Force.

Mr. Bartholomew responded that the task force did not recommend the green roof.

Jim Huffman, 4237 Denton Way, stated that the project needs to be done now.

Allan Cederberg, 1162 E. 82nd St., stated that he is a member of the Eagan watershed board and that he does not want any water runoff to go into the pond. He stated that the City should have to follow the regulations that are in place for the Northwest Area. He suggested that the Council should consider the use of rain gardens as a method of control.

Council member Klein responded that the building configuration is still unknown so all of the potential options have not been considered yet.

Mayor Tourville added that the City facilities campus is not part of the Northwest Area.

Mr. Cederberg commented on the financing and stated that \$25,000,000 is too much money to spend on the project. He stated that it is a bad time to move forward with the project given current economic conditions and suggested letting the citizens vote on the project.

Frank Rauschnot Jr., 6840 Dixie Avenue, identified himself as a member of the Task Force and stated that the project is necessary and needs to be done now before the cost increases.

Ted Miller, 2655 62nd Street East, stated that he toured the facility and questioned why the building was going to be renovated rather than building a new structure. He stated that the people of the community should have a say in the project and feels that now is not the right time to proceed with the project.

Mayor Tourville stated that a new building was considered by the Council and the task force.

Ted Trenzeluk, 7305 Bancroft Way, stated that he was on the task force and pointed out that it was comprised of a very diverse group of people that all came to the same conclusion that the project was necessary and that it needed to be completed as soon as possible.

Ms. Teppen stated that the cost of the project is estimated to be \$19,384,684.00. She noted that the green roof option was added in and could be removed at any time prior to bidding of the project. She explained that construction would begin in the spring of 2009 would last at least 18 months.

Willie Krech, 9574 Inver Grove Trail, stated that the space is needed. He suggested obtaining more quotes from other contractors and looking at a lot of other details before the 25 million is approved.

Council member Madden reiterated that nothing is final and there are still many things to be reviewed by the Council before anything is built. He agreed that \$25,000,000 would be too expensive and suggested that the green roof option be eliminated. He noted that by not building on another site they are saving land acquisition costs.

Council member Klein commented on the Police Department needing a better facility to operate in. He stated that he agrees that 25 million dollars is too high. He suggested that they proceed with 18.5 million and reiterated that he won't support a 25 million dollar project.

Mayor Tourville explained that the 25 million dollar figure was decided upon because once that amount is stated the Council cannot go back and spend more money. He stated that it is better to estimate on the high end versus having to come back and have another public hearing to ask for more money.

Council member Grannis stated he is strongly in favor of the project and while he agrees that not everything needs to be top-of-line he does not want to go low just to save money and then have to spend money down the road to fix and replace things. He said if \$25,000,000 is approved it does not mean that they will spend that. He suggested approving up to \$25,000,000 and seeing what the bids come in at.

Council member Piekarski Krech explained that her concern with the \$25,000,000 is the current economy. She stated that the Council should be more conservative in their spending. She stated that they need to move forward with the project and expressed an interest in discussing the use of some discretionary money.

Mr. Lynch stated that there is no final design plan in place and noted that everyone is concerned with the cost. He explained that a financing package is in place that would delay the tax increase to residents until 2010 and discussed how growth in the Northwest Area will bring down the costs for residents. He noted that no bonds have been issued yet and the City Council still has to decide on the use of discretionary funds.

Motion by Klein, seconded by Madden to close the public hearing

Ayes: 5

Nays: 0 Motion carried.

Council member Piekarski Krech reiterated that the project is needed and she will vote for preliminary approval, but will not vote for a \$25,000,000 project.

Council member Klein stated that he agrees that they need the expansion, but he does not want to spend up to \$25,000,000. He explained that he will vote against it and work hard to reduce the cost.

Motion by Grannis, seconded by Madden to adopt Resolution 08-167 approving Modifications to the Capital Improvement Plan relating to the Expansion & Renovation of the Public Safety & Municipal Facility and Consider Giving Preliminary Approval to Issue Capital Improvement Plan Bonds in an Amount Not to Exceed \$25,000,000

Ayes: 4

Nays: 1 (Klein) Motion carried.

7. REGULAR AGENDA:**ADMINISTRATION:****A. CITY OF INVER GROVE HEIGHTS; Consider Approval of Project Manager**

Ms. Teppen explained that Council is being asked to authorize staff to move forward with negotiation of the terms and conditions of an agreement with Krech O'Brien Mueller and Associates for Project Manager Services for the proposed Public Safety Expansion and City Hall Renovation project. She stated that the contract with Krech O'Brien would be brought back for Council approval on August 11th. She noted that because the design development process is about to begin it is important to have a Project Manager in place to ensure efficient design and cost accounting. She stated that Krech O'Brien Mueller and Associates has proposed a fee of \$12,500 for the first month of service and added that the fee would be included in the overall cost for project management services. She explained that Krech O'Brien Mueller and Associates submitted a four page memorandum of comments regarding the proposed Architectural Design Contract with the BKV Group and noted that all the concerns and questions have been addressed by the architect.

Council member Madden asked that all parties involved meet to discuss the project.

Mr. Lynch confirmed that face-to-face meetings between staff, the project manager and the architects are going to happen.

Dan O'Brien and Linda McCracken-Hunt, representing Krech O'Brien Mueller and Associates explained that they reviewed the architect's contract in extreme detail and reiterated that all of their concerns with the contract had been addressed and noted that they are satisfied with the revised draft of the contract.

Council member Grannis questioned the issue with the frequency of inspections by the architect. He expressed concern with the wording in the contract pertaining to when inspections are going to take place.

Ms. McCracken-Hunt explained that the contract reflects an average number of inspections. She noted that contracts can have clauses amended if an issue arises over the course of the project.

Council member Grannis confirmed that Krech O'Brien is comfortable with approving the architectural design contract as it is presented.

Council member Klein commented on the cost of the services from Krech O'Brien being \$300,000 and asked if that will increase.

Ms. Teppen responded that it is not proposed to increase.

Motion by Grannis, seconded by Madden, to Authorize Staff to work with Krech O'Brien Mueller and Associates on an agreement for Project Manager Services and to continue working with them under the agreement approved at the June 23, 2008 meeting for the fee of \$12,500 and in addition to the resolution that staff continue to update the Council via the Friday Memo on the status of the negotiations with Krech O'Brien Mueller and Associates until the contract is finalized.

Ayes: 5

Nays: 0 Motion carried.

B. CITY OF INVER GROVE HEIGHTS; Consider Approval of Architectural Design Contract

Ms. Teppen stated that the City has been working with BKV Group on this project since the Space Needs Analysis was done in 2005. She explained that the terms and conditions of the agreement have been negotiated over a series of meetings between the Architect, the City Attorney, City staff and with Krech O'Brien Mueller and Associates via memorandum.

Mayor Tourville asked for the Architect to confirm that he is in agreement with the terms and conditions of the contract.

Ted Redman, BKV Group confirmed that they are in agreement with the terms and conditions of the contract.

Tom Bartholomew, 8120 Claymore Avenue, asked that the Council consider allowing the Task Force to be involved in the bidding process so that they can help keep the costs down.

Mayor Tourville stated that the Task Force will be invited to look at the final design in Council Work Sessions.

Mr. Lynch clarified that the Task Force would be invited to take part in the Final Design Process, not the negotiations with the Architect.

Allan Cederberg commented on paying the Architect from July to October and not having the bond money.

Ms. Teppen explained that BKV and Krech O'Brien will commence work on the project in the next few days through October and confirmed that they will need to be compensated for the work that is done.

Mr. Grannis noted that the contract can be terminated at any time with seven days notice.

Mr. Lynch noted the scope of work is for July-October and the City will be billed in monthly increments. He stated that the services will be paid out of City funds until bonds are issued.

Motion by Grannis, seconded by Madden, to Approve the Architectural Design Contract with BKV Group for the proposed Public Safety Addition City Hall Renovation.

Ayes: 5

Nays: 0 Motion carried.

The City Council took a five-minute recess.

COMMUNITY DEVELOPMENT:

C. CBS OUTDOOR; Resolution relating to a Variance to allow relocation of a non-conforming billboard for property located at 10608 Courthouse Boulevard

Mr. Link explained that the billboard is located within the right-of-way that is being purchased by MnDOT for the east frontage road along Highway 52/55. He stated that the billboard must be removed in order to construct the road and the applicant has requested relocation of the billboard approximately 60 feet east of its present location. He explained that the hardship was created by the MnDOT project and the billboard needs to be moved through no fault of the landowner. He noted that both Planning staff and the Planning Commission recommended approval of the variance with the condition that the billboard be relocated in conformance with the site plan dated June 2, 2008 on file in the Planning Department.

Motion by Madden, seconded by Klein, to approve Resolution No. 08-168 relating to a Variance to allow relocation of a non-conforming billboard for property located at 10608 Courthouse Boulevard with the condition as stated.

Ayes: 5

Nays: 0 Motion carried.

D. CHARLES CUDD CO.; Resolution relating to a Variance to exceed the impervious surface requirements to construct a house & driveway for the property located at 11662 Azure Lane

Mr. Link explained that the applicant's representative has requested that consideration of this item be tabled so that discussion regarding the zoning ordinance amendment can be heard.

Motion by Madden, seconded by Klein, to Table the Resolution relating to a Variance to exceed the impervious surface requirements to construct a house & driveway for the property located at 11662 Azure Lane to the next regular meeting on July 28th.

Ayes: 5

Nays: 0 Motion carried.

E. CITY OF INVER GROVE HEIGHTS; Consider an Ordinance Amendment to modify Section 515.80, Subd. 8 of the Zoning Ordinance relating to maximum impervious surface coverage in the R-1A, R-1B and R-1C zoning districts

Mr. Link explained that Council directed staff to hold a public hearing at the July 1st Planning Commission meeting regarding changing the maximum allowed impervious coverage in the “R” zoning districts. He stated that after reviewing the current standards, recent variance requests and the zoning ordinance language from other cities, staff determined the ordinance should be modified to allow for more impervious surface coverage. He explained that staff has recommended that a percentage be applied dependent upon the zoning district. He clarified that the R-1A district would be allowed 20% impervious coverage, the R-1B district would be allowed 25% and the R-1C district would be allowed 30%. He stated that this change would allow more flexibility than the current regulations. He noted that staff has also proposed two other changes to the ordinance, including the addition of a definition for impervious and the requirement that a conditional use permit be obtained to exceed the allowed maximum impervious surface on lots that do not meet the minimum lot size requirements. He explained that the proposed ordinance language has yet to be reviewed by the City Engineer and further discussion is needed at the staff level prior to the second reading. Mr. Link stated that Planning staff and the Planning Commission recommended approval of the first reading of the ordinance amendment.

Council member Klein questioned if approval of the ordinance could be done in one reading.

Mr. Link responded that it should go to the second reading to allow for further review by staff and legal counsel.

Council member Madden stated that he thinks three readings of the amendment should be held so that the City Engineer and the City Attorney can further review the changes and make sure that everything is correct.

Council member Piekarski Krech noted that the amendment is a significant change and three readings should be held to give the public the opportunity for input.

Motion by Madden, seconded by Piekarski Krech, to approve the first reading of an Ordinance Amendment to modify Section 515.80, Subd. 8 of the Zoning Ordinance relating to maximum impervious surface coverage in the R-1A, R-1B and R-1C zoning districts

Ayes: 5

Nays: 0 Motion carried.

PUBLIC WORKS:

F. CITY OF INVER GROVE HEIGHTS; Resolution receiving Feasibility Study, Ordering Project and Approving Proposal from Emmons and Olivier Resources, Inc. for Final Design Engineering Services, Bidding Assistance and Construction Inspection Services for City Project No. 2007-05, Northwest Area Storm Water Emergency Overflows, Argenta Hills

Mr. Thureen explained that at their November 13, 2007 meeting, Council authorized Emmons and Olivier Resources to proceed with the design of the Northwest Area Storm Water Overflows for Argenta Hills tasks 1-3. He stated that the work included the preliminary design of the contingency overflows from two regional basins and did not include final design and construction services. He explained that tasks 4-6 cover the cost of final design, specifications, solicitation of bids and construction observation services for the emergency flow outlets. He added that the basin would be constructed while the developer is putting in utilities and noted that this is a small project that is expected to take no longer than two weeks to complete. He recommended approval of the resolution which authorizes the work in the amount of \$18,600 for tasks 4-5 with task 6 to be billed on an hourly time and materials basis.

Motion by Piekarski Krech, seconded by Klein, to adopt Resolution 08-169 receiving Feasibility Study, Ordering Project and Approving Proposal from Emmons and Olivier Resources, Inc. for Final Design Engineering Services, Bidding Assistance and Construction Inspection Services for

City Project No. 2007-05, Northwest Area Storm Water Emergency Overflows, Argenta Hills**Ayes: 5****Nays: 0 Motion carried.****G. CITY OF INVER GROVE HEIGHTS; Proposal to Provide Temporary Staff Engineering Services**

Mr. Thureen explained that the City Engineer position is currently vacant and the first advertisement of the position opening did not produce any viable candidates. He stated that the Engineering Division is experiencing a heavy workload and proposed that the remainder of the 2008 budgeted City Engineer salary and benefit costs be used to hire a staff engineer from a consulting firm. He stated that proposals and hourly fees were received from four consulting firms. He recommended that the proposal from SEH be accepted because it was the best combination of experience and cost.

Motion by Piekarski Krech, seconded by Klein, to approve proposal from SEH to provide Temporary Staff Engineering Services**Ayes: 5****Nays: 0 Motion carried.****H. CITY OF INVER GROVE HEIGHTS; Resolution Accepting Proposal and Awarding Contract for Engineering Final Design Services and Authorizing Preparation of Construction Plans and Specifications for City Project No. 2009-01, Trunk Highway 3 and Proposed 80th Street (CSAH 28) Intersection Improvements**

Mr. Thureen stated that the Argenta Hills development agreement includes a requirement for the City to construct intersection control improvements at TH 3 and the proposed 80th Street alignment. He explained that staff requested proposals from two engineering consulting firms for final design and preparation of construction plans and specifications. He recommended that the proposal from Stonebrooke Engineering be accepted.

Council member Piekarski Krech asked if the proposed name of the temporary road was set or if the City could come up with an alternate option.

Mr. Thureen responded that at the time the road was planned the County had jurisdiction over the name.

Mr. Lynch explained that the situation has changed and the County has determined that it does not have that authority and is looking to the cities to reclaim the process of street naming and numbering. He noted that this particular roadway is planned to be turned back over to the County after a short period of time.

Motion by Piekarski Krech, seconded by Klein, to adopt Resolution 08-164 Accepting Proposal and Awarding Contract for Engineering Final Design Services and Authorizing Preparation of Construction Plans and Specifications for City Project No. 2009-01, Trunk Highway 3 and Proposed 80th Street (CSAH 28) Intersection Improvements**Ayes: 5****Nays: 0 Motion carried.****I. CITY OF INVER GROVE HEIGHTS; Resolution Accepting Proposal and Awarding Contract for Preparation of a Feasibility Study, Engineering Design and Construction Phase Services, and Authorizing Preparation of Construction Plans and Specifications for City Project No. 2008-13, Courthouse Boulevard Court Street Improvements**

Mr. Thureen explained that the City will be designing and constructing various road improvements on Barnes Avenue and Courthouse Boulevard Court. He noted that the improvements to the road would be assessed back to the developer as per the settlement agreement for the Inverpoint Business Park. He stated that four proposals were received and were broken down into a design phase and a construction phase. He recommended that the proposal from WSB & Associates, Inc. be accepted.

Council member Piekarski Krech clarified that the study will include information on semi-truck traffic through the intersection.

Mr. Thureen responded that the feasibility study will include an analysis of the geometry of the intersection

of Barnes and Courthouse Boulevard Court with recommendations specifically for semi-truck movements. Mayor Tourville added that pedestrian movement and all the other movements pertaining to the intersection would be studied.

Motion by Piekarski Krech, seconded by Klein, to adopt Resolution 08-170 Accepting Proposal and Awarding Contract for Preparation of a Feasibility Study, Engineering Design and Construction Phase Services, and Authorizing Preparation of Construction Plans and Specifications for City Project No. 2008-13, Courthouse Boulevard Court Street Improvements

Ayes: 5

Nays: 0 Motion carried.

PARKS AND RECREATION:

J. CITY OF INVER GROVE HEIGHTS; Review Southern Lakes Trail Recommendations

Mr. Carlson reviewed the issues related to an existing trail east of the Southern Lakes subdivision. He stated that the current trail is a wood chip trail that has been maintained by the City. He noted that the potential trail connection through an existing easement will be discussed at the July 28th meeting. He discussed the results of a survey that was sent to residents in the neighborhood. He stated that the responses to the survey indicated that residents want a bituminous trail. He explained that the Parks and Recreation Advisory Commission recommended that staff solicit quotes to place 6" of classified gravel along the trail in the outlot to the East of the Southern Lakes subdivision. He stated that the estimated cost for the project would be \$35,000 to 45,000 and the project would include gravel, restoration, culvert and a silt fence. He explained that staff has recommended that bids be solicited to pave the trail with an estimated project cost of \$100,000 to \$150,000. He noted that the typical trail section would be 6" of gravel and 3" of bituminous all 10' wide.

Jeff Notch, 10883 Andes Circle, stated that because the ultimate goal of the neighborhood is to get the trail around the pond it may be more feasible from a cost standpoint to go with the Parks and Recreation Advisory Commission recommendation

Council member Klein stated that discussion with Xcel Energy still needs to occur and it is unknown if they will allow a trail to be installed around the pond.

Dorothy Van Hoven, 10632 Alison Way, stated not knowing how Xcel Energy is going to respond to the neighborhood's request is a major concern. She asked if a better compromise would be to pave the existing trail and then use wood chips for the trail around the pond if Xcel Energy gave permission to do so.

Mayor Tourville stated that a wood chip trail would be worthless primarily because there is no maintenance involved. He explained that he also observed several areas where there will be problems putting gravel in. He added that while the initial costs for gravel may be less than asphalt, over time the cost to maintain the gravel trail may be more than the cost to pave the trail with asphalt. He stated that he thinks the City would be wasting money by using gravel on the trail.

Council member Piekarski Krech clarified that a bituminous trail would be paid for via Fund 402.

Council member Grannis asked why the Park and Recreation Commission recommended the gravel trail.

Mr. Carlson responded that they felt the cost for the bituminous trail was too high.

Willie Krech, 9574 Inver Grove Trail, stated that the neighborhood would like to see the trail extend around the pond and the Parks and Recreation Commission thought it would be more cost effective to use gravel.

Mayor Tourville stated that there needs to be discussion with Xcel Energy regarding extension of the trail around the pond and also with the County regarding where the trail comes to Cliff Road. He suggested that asphalt be used to pave the existing trail and then consider what to use for an extension around the pond at a later date after discussion with Xcel Energy.

Council member Piekarski Krech suggested starting with the gravel to get the trail done. She added that six inches of gravel needs to be put down before bituminous anyway and that would allow time to negotiate with Xcel Energy regarding the trail around the pond. She stated that the trail also needs to be ADA compliant.

Mayor Tourville suggested getting one bid for laying the asphalt right away and one bid for waiting to lay the asphalt to see what the price difference would be.

Mr. Kuntz pointed out that if there is a trail on the Xcel property it will be a City trail and Xcel will have to contact the City regarding the potential easement.

Mr. Carlson clarified that he has been directed to obtain bids to pave the existing trail with classified gravel and classified gravel and bituminous and then bring the options back to the Council. He added that he will also check on the ADA compliance requirements.

Ms. Van Hoven asked when the bid would be in for the trail.

Mayor Tourville responded that they are looking at August 11th.

8. MAYOR AND COUNCIL COMMENTS:

Council member Grannis stated that July 15th was the deadline to file for City offices.

9. ADJOURN: Motion by Grannis, seconded by Madden to adjourn. The meeting adjourned by unanimous vote at 10:35 p.m.

CITY OF INVER GROVE HEIGHTS

REQUEST FOR COUNCIL ACTION

Meeting Date: July 28, 2008
 Item Type: Consent
 Contact: Cathy Shea 651-450-2521
 Prepared by: Cathy Shea Asst. Finance Director
 Reviewed by: N/A

Fiscal/FTE Impact:	
<input type="checkbox"/>	None
<input checked="" type="checkbox"/>	Amount included in current budget
<input type="checkbox"/>	Budget amendment requested
<input type="checkbox"/>	FTE included in current complement
<input type="checkbox"/>	New FTE requested – N/A
<input type="checkbox"/>	Other

PURPOSE/ACTION REQUESTED

Approve the attached resolution approving disbursements for the period of July 10, 2008 to July 23, 2008.

SUMMARY

Shown below is a listing of the disbursements for the various funds for the period ending July 23, 2008. The detail of these disbursements is attached to this memo.

General & Special Reveune	\$273,767.12
Debt Service & Capital Projects	2,222,929.47
Enterprise & Internal Service	207,411.43
Escrows	<u>37,094.37</u>
Grand Total for All Funds	<u><u>\$2,741,202.39</u></u>

If you have any questions about any of the disbursements on the list, please call Vickie Gray, Accounting Technician at 651-450-2515.

Attached to this summary for your action is a resolution approving the disbursements for the period July 10, 2008 to July 23, 2008, and the listing of disbursements requested for approval.

DAKOTA COUNTY, MINNESOTA

RESOLUTION NO. _____

**RESOLUTION APPROVING DISBURSEMENTS FOR THE
PERIOD ENDING JULY 23, 2008**

WHEREAS, a list of disbursements for the period ending July 23, 2008 was presented to the City Council for approval;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF INVER GROVE HEIGHTS: that payment of the list of disbursements of the following funds is approved:

General & Special Revenue	\$ 273,767.12
Debt Service & Capital Projects	2,222,929.47
Enterprise & Internal Service	207,411.43
Escrows	<u>37,094.37</u>
 Grand Total for All Funds	 <u>\$ 2,741,202.39</u>

Adopted by the City Council of Inver Grove Heights this 28th day of July, 2008.

Ayes:

Nays:

George Tourville, Mayor

ATTEST:

Melissa Rheaume, Deputy City Clerk

CHECK DATE	CHECK NUMBER	VENDOR NAME	INVOICE# / DESCRIPTION	G/L NUMBER	PROJECT	PERIOD/ YEAR	AMOUNT
07/16/2008	89266	ACE PAINT & HARDWARE	cust 1126	101-6000-451.60-66		7/2008	14.89
			cust 1126	101-6000-451.60-65		7/2008	29.34
			CUST 1126	101-4200-423.60-65		7/2008	21.25
			CUST 1126	101-4200-423.60-65		7/2008	20.21
			acct 1126	101-5200-443.60-16		7/2008	13.82
						* Total	99.51
07/16/2008	89267	AEROMIX	city of inver grove hgts	101-6000-451.40-47		7/2008	329.09
						* Total	329.09
07/16/2008	89268	AMERICAN PLANNING ASSOC	MEMBER: HEATHER BOTTEN	101-3200-419.50-70		7/2008	265.00
						* Total	265.00
07/16/2008	89270	BEACON ATHLETICS	cust b55077	101-6000-451.60-16		7/2008	670.00
			cust b55077	101-6000-451.60-16		7/2008	804.00
						* Total	1,474.00
07/16/2008	89273	CARLSON, ERIC	parking fees for mtg	101-6000-451.50-65		7/2008	8.00
						* Total	8.00
07/16/2008	89278	CITY OF SAINT PAUL	inver grove heights	101-5200-443.60-16		7/2008	3,842.31
						* Total	3,842.31
07/16/2008	89281	CULLIGAN	ACCT 157984591006	101-4200-423.60-65		7/2008	23.05
						* Total	23.05
07/16/2008	89283	DAKOTA COMMUNICATIONS C	CITY OF INVER GROVE HGTS	101-4000-421.70-30		7/2008	18,595.00
			CITY OF INVER GROVE HGTS	101-4200-423.70-50		7/2008	9,297.00
						* Total	27,892.00
07/16/2008	89284	DAKOTA ELECTRIC ASSN	acct 2501658	101-6000-451.40-20		7/2008	453.67
						* Total	453.67
07/16/2008	89285	DAKOTA ELECTRIC ASSN	acct 3935632	101-6000-451.40-20		7/2008	321.31
						* Total	321.31
07/16/2008	89286	DAKOTA ELECTRIC ASSN	acct 2468379	101-6000-451.40-20		7/2008	3,995.92
						* Total	3,995.92
07/16/2008	89292	EMEROIDME.COM	inver grove hgts	101-6000-451.60-45		7/2008	987.32
						* Total	987.32
07/16/2008	89294	G & K SERVICES	acct 7494701	101-5200-443.60-45		7/2008	153.40
			acct 7494701	101-6000-451.60-45		7/2008	61.38
			cust 7494701	101-5200-443.60-45		7/2008	92.05
			cust 7494701	101-6000-451.60-45		7/2008	122.73
						* Total	429.56
07/16/2008	89296	GERLACH OUTDOOR POWER E	city of inver grove	101-6000-451.60-40		7/2008	2,000.00
						* Total	2,000.00
07/16/2008	89306	HEALTH PARTNERS	CITY OF INVER GROVE HGTS	101-0000-203.07-00		7/2008	76,417.55
			CITY OF INVER GROVE HGTS	101-0000-203.08-00		7/2008	6,721.56

CHECK DATE	CHECK NUMBER	VENDOR NAME	INVOICE# / DESCRIPTION	G/L NUMBER	PROJECT	PERIOD/ YEAR	AMOUNT
07/16/2008	89314	HYDRO TURF INC.	city of inver grove hgts	101-6000-451.60-40		* Total	83,139.11
07/16/2008	89316	J-C PRESS	cust 1598	101-1100-413.50-32		* Total	19.05
07/16/2008	89319	JUCKEL LAMCARE & SNOW	city of igh	101-3300-419.30-70		* Total	19.05
07/16/2008	89325	LEVANDER, GILLEN & MILL	city of igh	101-3300-419.30-70		* Total	2,150.00
07/16/2008	89326	LEVANDER, GILLEN & MILL	city of igh	101-3300-419.30-70		* Total	2,150.00
07/16/2008	89328	LONE OAK GRAPHICS INC	CLIENT 81000E	101-1000-413.30-40		* Total	125.00
07/16/2008	89335	MINNEAPOLIS OXYGEN CO.	CLIENT 81000E	101-1000-413.30-42		* Total	14,073.08
07/16/2008	89336	MINNESOTA WINDOW & SIDI	CLIENT 81000E	101-4000-421.30-42		* Total	100.00
07/16/2008	89337	MN ASSOC OF GOV'T COMMU	CLIENT 81000E	101-5000-441.30-42		* Total	2,788.00
07/16/2008	89338	MN GLOVE & SAFETY, INC.	CLIENT 81000E	101-6000-451.30-42		* Total	132.00
07/16/2008	89343	MOTOR PARTS SERVICE CO.	CLIENT 92000E	101-4000-421.30-41		* Total	17,453.08
07/16/2008	89345	NATURE CALLS, INC.	CUST 8150	101-3200-419.50-30		* Total	25,613.43
07/16/2008	89346	NEXTEL COMMUNICATIONS	CUST 1113505	101-4000-421.60-65		* Total	44.08
07/16/2008	89347	NEXTEL COMMUNICATIONS	PERMIT CANCELED	101-0000-322.10-00		* Total	44.08
07/16/2008	89354	PINE BEND PAVING, INC.	attende; jenelle teppen	101-1100-413.50-80		* Total	11.50
07/16/2008	89337	MN ASSOC OF GOV'T COMMU	attende; jenelle teppen	101-1100-413.50-80		* Total	11.50
07/16/2008	89338	MN GLOVE & SAFETY, INC.	city of inver grove hgts	101-6000-451.60-11		* Total	79.60
07/16/2008	89343	MOTOR PARTS SERVICE CO.	city of inver grove hgts	101-6000-451.60-45		* Total	79.60
07/16/2008	89345	NATURE CALLS, INC.	city of iver grove hgts	101-6000-451.40-65		* Total	15.00
07/16/2008	89346	NEXTEL COMMUNICATIONS	ACCT 0266948529	101-4000-421.50-20		* Total	15.00
07/16/2008	89347	NEXTEL COMMUNICATIONS	acct 487383319	101-6000-451.50-20		* Total	40.00
07/16/2008	89354	PINE BEND PAVING, INC.	city of inver grove hgts	101-6000-451.60-65		* Total	47.92
07/16/2008	89337	MN ASSOC OF GOV'T COMMU	attende; jenelle teppen	101-1100-413.50-80		* Total	87.92
07/16/2008	89338	MN GLOVE & SAFETY, INC.	city of inver grove hgts	101-6000-451.60-11		* Total	11.69
07/16/2008	89343	MOTOR PARTS SERVICE CO.	city of inver grove hgts	101-6000-451.60-45		* Total	11.69
07/16/2008	89345	NATURE CALLS, INC.	city of iver grove hgts	101-6000-451.40-65		* Total	852.83
07/16/2008	89346	NEXTEL COMMUNICATIONS	ACCT 0266948529	101-4000-421.50-20		* Total	852.83
07/16/2008	89347	NEXTEL COMMUNICATIONS	acct 487383319	101-6000-451.50-20		* Total	503.63
07/16/2008	89354	PINE BEND PAVING, INC.	city of inver grove hgts	101-6000-451.60-65		* Total	503.63
07/16/2008	89337	MN ASSOC OF GOV'T COMMU	attende; jenelle teppen	101-1100-413.50-80		* Total	372.68
07/16/2008	89338	MN GLOVE & SAFETY, INC.	city of inver grove hgts	101-6000-451.60-11		* Total	372.68
07/16/2008	89343	MOTOR PARTS SERVICE CO.	city of inver grove hgts	101-6000-451.60-45		* Total	390.81
07/16/2008	89345	NATURE CALLS, INC.	city of iver grove hgts	101-6000-451.40-65		* Total	390.81
07/16/2008	89346	NEXTEL COMMUNICATIONS	ACCT 0266948529	101-4000-421.50-20		* Total	
07/16/2008	89347	NEXTEL COMMUNICATIONS	acct 487383319	101-6000-451.50-20		* Total	
07/16/2008	89354	PINE BEND PAVING, INC.	city of inver grove hgts	101-6000-451.60-65		* Total	

CHECK DATE	CHECK NUMBER	VENDOR NAME	INVOICE# / DESCRIPTION	G/L NUMBER	PROJECT	PERIOD/ YEAR	AMOUNT
07/16/2008	89355	PIZZA HUT	water treatment meeting	101-1100-413.50-75		7/2008 * Total	58.16 58.16
07/16/2008	89358	QWEST	acct 6514577674	101-6000-451.50-20		7/2008 * Total	40.94 40.94
07/16/2008	89359	QWEST	acct 6514577671	101-6000-451.50-20		7/2008 * Total	40.94 40.94
07/16/2008	89365	S & T OFFICE PRODUCTS	acct S28777	101-2000-415.60-40		7/2008	122.73
			acct S28777	101-3300-419.60-40		7/2008	98.56
			acct S28777	101-3300-419.60-10		7/2008	11.00
			acct S28777	101-1100-413.60-40		7/2008	36.53
			acct S28777	101-1100-413.60-40		7/2008	8.17
			acct S28777	101-1100-413.60-65		7/2008	26.07
			acct S28777	101-1100-413.60-40		7/2008	67.77
			acct S28777	101-3300-419.60-40		7/2008	83.60
			acct S28777	101-3300-419.60-10		7/2008	4.39
			acct S28777	101-3300-419.60-10		7/2008	52.65
			acct S28777	101-1100-413.60-40		7/2008	12.56
			acct S28777	101-2000-415.60-40		7/2008	83.60
			acct S28777	101-3200-419.60-10		7/2008	40.93
			acct S28777	101-1100-413.60-65		7/2008 * Total	55.04 703.60
07/16/2008	89375	SOUTH EAST TOWING	CITY OF INVER GROVE HGTS	101-4000-421.60-65		7/2008	106.50
			CITY OF INVER GROVE HGTS	101-4000-421.60-65		7/2008 * Total	133.13 239.63
07/16/2008	89376	SOUTH METRO PUBLIC SAFE	ATTENDEE; SHANE RAMBAUM	101-4000-421.50-80		7/2008 * Total	49.00 49.00
07/16/2008	89382	SYMPHONY INFORMATION SE	city of inver grove	101-5100-442.30-70		7/2008 * Total	80.00 80.00
07/16/2008	89383	TEMO SUNROOMS & EXTERIO	PERMIT CANCELED	101-0000-322.10-00		7/2008 * Total	79.60 79.60
07/16/2008	89385	TRANS UNION LLC	acct 0924v0008542	101-1100-413.30-50		7/2008 * Total	24.60 24.60
07/16/2008	89387	TWIN CITY SAW	city of inver grove hgts	101-6000-451.60-16		7/2008 * Total	210.75 210.75
07/16/2008	89391	USA MOBILITY WIRELESS I	ACCT 03174091	101-4000-421.50-20		7/2008 * Total	22.06 22.06
07/16/2008	89394	WHAT WORKS INC	city of inver grove	101-1100-413.30-70		7/2008 * Total	1,943.00 1,943.00
07/16/2008	89396	XCEL ENERGY	cust 5152791130	101-5200-443.40-20		7/2008	946.45
			cust 5152791130	101-5400-445.40-20		7/2008 * Total	8,098.86 9,045.31

CHECK DATE	CHECK NUMBER	VENDOR NAME	INVOICE# / DESCRIPTION	G/L NUMBER	PROJECT	PERIOD/ YEAR	AMOUNT
07/16/2008	89397	XCEL ENERGY	acct 5164351291	101-5400-445.40-20		7/2008 * Total	114.66 114.66
07/16/2008	89398	XCEL ENERGY	acct 5151854463	101-4000-421.40-42		7/2008 * Total	36.62 36.62
07/16/2008	89399	XCEL ENERGY	ACCT 5164318574 ACCT 5164318574	101-4200-423.40-10 101-4200-423.40-20		7/2008 * Total	164.90 1,012.28 1,177.18
07/23/2008	89409	AFSCME COUNCIL 5	city of inver grove	101-0000-203.10-00		7/2008 * Total	881.56 881.56
07/23/2008	89414	ARROW MOWER, INC.	city of inver grove hgts	101-5200-443.60-16		7/2008 * Total	89.77 89.77
07/23/2008	89427	DAKOTA CTY TREASURER-AU	city of inver grove	101-2000-415.30-70		7/2008 * Total	2,683.75 2,683.75
07/23/2008	89428	DAKOTA ELECTRIC ASSN	acct 1093947	101-5400-445.40-20		7/2008 * Total	934.18 934.18
07/23/2008	89439	G & K SERVICES	acct 7494701 acct 7494701	101-5200-443.60-45 101-6000-451.60-45		7/2008 * Total	92.05 100.67 192.72
07/23/2008	89454	INVER GROVE HEIGHTS DAY	city of inver grove hgts	101-1000-413.70-60		7/2008 * Total	5,000.00 5,000.00
07/23/2008	89456	JUCKEL LAWCARE & SNOW	city of inver grove city of inver grove	101-3300-419.30-70 101-3300-419.30-70		7/2008 * Total	145.00 130.00 275.00
07/23/2008	89460	LANGUAGE LINE SERVICES	cust 9020909043	101-4000-421.50-20		7/2008 * Total	10.39 10.39
07/23/2008	89469	MN DEPT OF EMPLOYMENT &	city of inver grove hgts city of inver grove hgts	101-4000-421.20-70 101-4200-423.20-70		7/2008 * Total	3,185.00 556.42 3,741.42
07/23/2008	89474	MSPE	attende; Steve dodge	101-5100-442.50-80		7/2008 * Total	1,400.00 1,400.00
07/23/2008	89477	NEXTEL COMMUNICATIONS	acct 634573312	101-3300-419.50-20		7/2008 * Total	1,227.92 1,227.92
07/23/2008	89493	SOUTH ST PAUL STEEL SUP	city of inver grove city of inver grove	101-5200-443.60-16 101-5200-443.60-16		7/2008 * Total	77.54 408.96 486.50
07/23/2008	89502	TWIN CITIES OCCUPATIONA	acct n261251001589 acct n261251001591	101-1100-413.30-50 101-1100-413.30-50		7/2008 * Total	295.00 55.00 350.00

CHECK DATE	CHECK NUMBER	VENDOR NAME	INVOICE# / DESCRIPTION	G/L NUMBER	PROJECT	PERIOD/ YEAR	AMOUNT
07/23/2008	89504	UNITED WAY	city of inver grove	101-0000-203.13-00		7/2008 * Total	181.00 181.00
07/16/2008	89362	RIVER HEIGHTS CHAMBER O	acct 5737 acct 5737	60 Checks	** Fund Total		204,875.41
07/23/2008	89508	WELLS FARGO BANK	acct inve1093agoi	201-1600-465.40-65 201-1600-465.50-35		7/2008 7/2008 * Total	100.00 581.88 681.88
07/23/2008	89508	WELLS FARGO BANK	acct inve1093agoi	1 Checks	** Fund Total		681.88
07/23/2008	89508	WELLS FARGO BANK	acct inve1093bgos	322-9000-570.90-30		7/2008 * Total	200.00 200.00
07/23/2008	89508	WELLS FARGO BANK	acct inve1093bgos	1 Checks	** Fund Total		200.00
07/23/2008	89508	WELLS FARGO BANK	acct inve996agoi	323-9000-570.90-30		7/2008 * Total	200.00 200.00
07/23/2008	89508	WELLS FARGO BANK	acct inve996agoi	1 Checks	** Fund Total		200.00
07/23/2008	89508	WELLS FARGO BANK	acct inve598agoi	328-9000-570.90-30		7/2008 * Total	62.50 62.50
07/23/2008	89508	WELLS FARGO BANK	acct inve598agoi	1 Checks	** Fund Total		62.50
07/23/2008	89508	WELLS FARGO BANK	acct inve598agoi	331-9000-570.90-30		7/2008 * Total	62.50 62.50
07/23/2008	89508	WELLS FARGO BANK	acct inve598agoi	1 Checks	** Fund Total		62.50
07/23/2008	89508	WELLS FARGO BANK	acct inve598bgor	332-9000-570.90-30		7/2008 * Total	62.50 62.50
07/23/2008	89508	WELLS FARGO BANK	acct inve598bgor	1 Checks	** Fund Total		62.50
07/16/2008	89372	SCROGGINS, SHIRLEY	PID207315002303 Spc assem	349-0000-370.30-00		7/2008 * Total	62.50 74.51 74.51
07/23/2008	89468	MICKSCHL, CAROLE	special assessment	349-0000-370.30-00		7/2008 * Total	116.88 116.88
07/23/2008	89495	TAYLOR CORPORATION	special assessment	349-0000-370.30-00		7/2008 * Total	518.36 518.36
07/16/2008	89290	EHLERS AND ASSOCIATES,	inver grove heights	405-9000-570.30-15		7/2008 * Total	709.75 647.50 647.50
07/16/2008	89325	LEVANDER, GILLEN & MILL	CLIENT 81000E	421-5912-721.30-42	0112	7/2008	647.50 647.50
07/16/2008	89325	LEVANDER, GILLEN & MILL	CLIENT 81000E	421-5912-721.30-42	0112	7/2008	647.50 17.50-

CHECK DATE	CHECK NUMBER	VENDOR NAME	INVOICE# / DESCRIPTION	G/L NUMBER	PROJECT	PERIOD/ YEAR	AMOUNT
				1 Checks	** Fund Total	* Total	17.50-
07/16/2008	89325	LEVANDER, GILLEN & MILL	CLIENT 81000E	423-5903-723.30-42	0303	7/2008	4,495.50
						* Total	4,495.50
07/21/2008	89406	DAKOTA CTY DIST. COURT	city of inver grove hgts	423-5903-723.80-10	0303	7/2008	7,300.00
						* Total	7,300.00
07/23/2008	89423	CLARK ROAD PROPERTIES L	temporary easement	423-5903-723.80-10	0303	7/2008	45,000.00
						* Total	45,000.00
07/23/2008	89462	LILLIE SUBURBAN NEWSPAP	acct 2945	423-5903-723.50-25	0303	7/2008	2,624.77
						* Total	2,624.77
07/23/2008	89483	PRAXAIR INC	temporary easement	423-5903-723.80-10	0303	7/2008	5,300.00
						* Total	5,300.00
				5 Checks	** Fund Total	* Total	64,720.27
07/16/2008	89272	BRAUN INTERTEC CORPORAT	crip railroad site	425-5907-725.30-30	0507	7/2008	1,465.00
			crip railroad site	425-5907-725.30-30	0507	7/2008	390.00
						* Total	1,855.00
07/16/2008	89325	LEVANDER, GILLEN & MILL	CLIENT 81000E	425-5906-725.30-42	0506	7/2008	1,971.39
			CLIENT 81000E	425-5922-725.30-42	0522	7/2008	1,386.50
						* Total	3,357.89
07/23/2008	89435	EMMONS & OLLIVIER RESOUR	city of inver grove	425-5907-725.30-30	0507	7/2008	2,627.50
						* Total	2,627.50
				3 Checks	** Fund Total	* Total	7,840.39
07/16/2008	89380	ST CROIX RECREATION CO	CITY OF INVER GROVE HGTS	426-5914-726.80-20	0614	7/2008	17,335.36
						* Total	17,335.36
07/23/2008	89433	E.H. RENNER & SONS INC	drilling city well 9	426-5904-726.80-30	0604	7/2008	32,675.25
						* Total	32,675.25
				2 Checks	** Fund Total	* Total	50,010.61
07/16/2008	89303	HANCE UTILITY SERVICES	city of inver grove	428-5917-728.80-30	0817	7/2008	173.75
						* Total	173.75
07/16/2008	89325	LEVANDER, GILLEN & MILL	CLIENT 81000E	428-5910-728.30-42	0810	7/2008	111.00
			CLIENT 81000E	428-5911-728.30-42	0811	7/2008	601.00-
						* Total	490.00-
07/16/2008	89334	MENARDS - WEST ST. PAUL	cust 30170270	428-5917-728.80-30	0817	7/2008	135.08
						* Total	135.08
07/23/2008	89440	GARTNER REFRIGERATION &	vmcc refrigeration proj	428-5906-728.80-20	0806	7/2008	312,332.36

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07/16/2008	89325	LEVANDER, GILLEN & MILL	CLIENT 81000E	429-5901-729.30-42	0901	7/2008	1,173.00
				440-5900-740.30-42	0809C	7/2008	355.00-
				440-5900-740.80-10	0809D	7/2008	5,900.00
				440-5900-740.80-30	0709C	7/2008	5,956.43
				440-5900-740.40-46	0809A	7/2008	14,827.96
							14,827.96
					** Fund Total		26,329.39
07/16/2008	89290	EHLERS AND ASSOCIATES,	inver grove heights	441-5900-741.30-70		7/2008	1,417.50
							1,417.50
07/16/2008	89381	ST CROIX TREE SERVICE	city of inver grove hgts	443-5900-743.60-16		7/2008	1,270.98
							1,270.98
					** Fund Total		1,417.50
07/16/2008	89325	LEVANDER, GILLEN & MILL	CLIENT 81000E	446-5915-746.30-42	0315	7/2008	4,223.15
							4,223.15
07/23/2008	89411	AMES CONSTRUCTION INC	nw area trunk utility	446-5915-746.80-30	0315	7/2008	1,680,157.69
							1,680,157.69
07/23/2008	89488	SHEEHY CONSTRUCTION COM	lift station/utility impv	446-5915-746.80-30	0315A	7/2008	71,708.05
							71,708.05
					** Fund Total		1,756,088.89
07/16/2008	89266	ACE PAINT & HARDWARE	cust 1126	501-7100-512.60-16		7/2008	9.04
			cust 1126	501-7100-512.60-16		7/2008	6.17
							15.21
07/16/2008	89287	DANNER LANDSCAPING	city of inver grove	501-7100-512.60-16		7/2008	23.43
			city of inver grove	501-7100-512.60-16		7/2008	11.74
							35.17
07/16/2008	89291	ELECTRIC FIRE & SECURIT	city of inver grove	501-7100-512.40-40		7/2008	634.74
					* Total		312,332.36
					** Fund Total		312,151.19

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07/16/2008	89293	FLUEGEL ELEVATOR, INC.	city of inver grove	501-7100-512.60-16		* Total	634.74
						7/2008	384.09
						* Total	384.09
07/16/2008	89294	G & K SERVICES	acct 7494701	501-7100-512.60-45		7/2008	25.77
			cust 7494701	501-7100-512.60-45		7/2008	25.77
						* Total	51.54
07/16/2008	89296	GERLACH OUTDOOR POWER E	city of inver grove	501-7100-512.40-42		7/2008	2,952.35
						* Total	2,952.35
07/16/2008	89302	HACH COMPANY	cust 255136	501-7100-512.60-19		7/2008	1,033.42
						* Total	1,033.42
07/16/2008	89305	HD SUPPLY WATERWORKS LT	cust 099872	501-7100-512.40-43		7/2008	13,978.13
						* Total	13,978.13
07/16/2008	89332	MAXIMUM GRAPHICS	city of igh	501-7100-512.50-30		7/2008	3,991.62
						* Total	3,991.62
07/16/2008	89344	MTI DISTRIBUTING CO	cust 91180	501-7100-512.60-16		7/2008	149.14
						* Total	149.14
07/16/2008	89373	SEELYE PLASTICS INC	city of inver grove hgts	501-7100-512.40-40		7/2008	160.14
						* Total	160.14
07/16/2008	89374	SHERWIN-WILLIAMS	acct 668254535	501-7100-512.60-16		7/2008	9.73
						* Total	9.73
07/16/2008	89388	TWIN CITY WATER CLINIC	city of inver grove	501-7100-512.30-70		7/2008	330.00
						* Total	330.00
07/16/2008	89402	XCEL ENERGY	cust 5160987097	501-7100-512.40-10		7/2008	1,106.39
			cust 5160987097	501-7100-512.40-20		7/2008	15,239.81
						* Total	16,346.20
07/23/2008	89407	ABC RENTALS INC	city of inver grove hgts	501-7100-512.40-50		7/2008	57.88
						* Total	57.88
07/23/2008	89408	ACE PAINT & HARDWARE	acct 1126	501-7100-512.60-16		7/2008	14.76
						* Total	14.76
07/23/2008	89415	AUTOMATIC SYSTEMS CO.	cust no inve01	501-7100-512.40-42		7/2008	582.75
						* Total	582.75
07/23/2008	89416	BAARS MECHANICAL, INC.	city of inver grove hgts	501-7100-512.30-70		7/2008	1,580.00
			city of inver grove hgts	501-7100-512.30-70		7/2008	99.50
			city of inver grove hgts	501-7100-512.40-42		7/2008	4,216.25
			city of inver grove hgts	501-7100-512.30-70		7/2008	105.00
						* Total	6,000.75
07/23/2008	89438	FLUEGEL ELEVATOR, INC.	acct ighci	501-7100-512.60-16		7/2008	384.09

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07/23/2008	89439	G & K SERVICES	acct 7494701	501-7100-512.60-45		* Total	384.09
						7/2008	68.72
						* Total	68.72
07/23/2008	89442	GERLACH OUTDOOR POWER E	city of inver grove	501-7100-512.60-16		7/2008	8.04
			city of inver grove	501-7100-512.60-16		7/2008	392.79
						* Total	400.83
07/23/2008	89446	HAMKINS, INC.	cust 108816	501-7100-512.60-19		7/2008	585.50
			cust 108816	501-7100-512.60-19		7/2008	2,119.22
						* Total	2,704.72
07/23/2008	89448	HOME DEPOT CREDIT SERVI	cust 6035322502691268	501-7100-512.60-16		7/2008	402.72
						* Total	402.72
07/23/2008	89470	MN PIPE & EQUIPMENT	cust 2195	501-7100-512.60-16		7/2008	108.67
						* Total	108.67
07/23/2008	89475	NATUREVIEW GIFT & GARDE	city of igh	501-7100-512.60-16		7/2008	81.97
						* Total	81.97
07/23/2008	89489	SHERWIN-WILLIAMS	acct 668254535	501-7100-512.60-16		7/2008	25.20
			acct 668254535	501-7100-512.60-16		7/2008	251.46
						* Total	276.66
07/23/2008	89500	TKDA	city of inver grove hgts	501-7100-512.30-70		7/2008	1,189.75
						* Total	1,189.75
07/23/2008	89510	XCEL ENERGY	acct 5160987097	501-7100-512.40-20		7/2008	2,499.17
						* Total	2,499.17
07/23/2008	89511	XCEL ENERGY	acct 5160987097	501-7100-512.40-20		7/2008	2,973.59
						* Total	2,973.59
						** Fund Total	57,818.51
07/16/2008	89294	G & K SERVICES	acct 7494701	502-7200-514.60-45		7/2008	11.04
			cust 7494701	502-7200-514.60-45		7/2008	11.04
						* Total	22.08
07/16/2008	89311	HIGHWAY TECHNOLOGIES	cust 66047	502-7200-514.40-50		7/2008	174.95
						* Total	174.95
07/16/2008	89402	XCEL ENERGY	cust 5160987097	502-7200-514.40-20		7/2008	86.83
						* Total	86.83
07/23/2008	89422	CITI RESIDENTIAL LENDIN	REQUESTED CREDIT REFUND	502-0000-116.00-00		7/2008	24.67
						* Total	24.67
07/23/2008	89434	EDINA REALTY TITLE	REQUESTED CREDIT REFUND	502-0000-116.00-00		7/2008	95.19
						* Total	95.19

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07/23/2008	89436	ERA MUSKE COMPANY	REQUESTED CREDIT REFUND	502-0000-116.00-00		7/2008 * Total	30.85 30.85
07/23/2008	89437	FIX, ALBERT	REQUESTED CREDIT REFUND	502-0000-116.00-00		7/2008 * Total	74.62 74.62
07/23/2008	89439	G & K SERVICES	acct 7494701	502-7200-514.60-45		7/2008 * Total	29.44 29.44
07/23/2008	89472	MORRIS LAW GROUP, P.A.	REQUESTED CREDIT REFUND	502-0000-116.00-00		7/2008 * Total	60.00 60.00
07/23/2008	89473	MORTGAGE ELECTRONIC REG	REQUESTED CREDIT REFUND	502-0000-116.00-00		7/2008 * Total	79.55 79.55
07/23/2008	89476	NEENAH FOUNDRY COMPANY	cust i83000	502-7200-514.60-16		7/2008 * Total	1,645.08 1,645.08
07/23/2008	89484	RELS TITLE	REQUESTED CREDIT REFUND	502-0000-116.00-00		7/2008 * Total	13.86 13.86
07/23/2008	89491	SMITH, ROSS & KAREN	REQUESTED CREDIT REFUND	502-0000-116.00-00		7/2008 * Total	6.62 6.62
13 Checks ** Fund Total							2,343.74
07/16/2008	89269	ARCTIC GLACIER, INC.	acct 1726134	503-8300-524.60-65		7/2008	94.80
			acct 1726134	503-8300-524.60-65		7/2008	59.96
			acct 1726134	503-8300-524.60-65		7/2008	54.60
			acct 1726134	503-8300-524.60-65		7/2008	84.08
						* Total	293.44
07/16/2008	89279	COCA COLA BOTTLING COMP	acct 3079049	503-8300-524.76-10		7/2008 * Total	768.73 768.73
07/16/2008	89282	CUSHMAN MOTOR COMPANY I	acct c0644	503-8400-525.40-41		7/2008	467.00
			acct c0644	503-8600-527.60-10		7/2008	39.94
			acct c0644	503-8400-525.40-41		7/2008	224.20
						* Total	731.14
07/16/2008	89295	G & K SERVICES	acct 0157401	503-8600-527.60-45		7/2008 * Total	47.35 47.35
07/16/2008	89297	GERTEN'S LANDSCAPING	inverwood golf course	503-8600-527.60-20		7/2008	383.93
			inverwood golf course	503-8600-527.60-20		7/2008	69.22
						* Total	453.15
07/16/2008	89298	GERTENS	cust 100464	503-8600-527.60-20		7/2008 * Total	62.30 62.30
07/16/2008	89301	GRANDMA'S BAKERY	acct 24400	503-8300-524.76-05		7/2008	70.98
			acct 24400	503-8300-524.76-05		7/2008	68.59
			acct 24400	503-8300-524.76-05		7/2008	68.59

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07/16/2008	89301	GRANDMA'S BAKERY	acct 24400	503-8300-524.76-05		7/2008	68.60
			acct 24400	503-8300-524.76-05		7/2008	68.60
			acct 24400	503-8300-524.76-05		7/2008	68.65
			acct 24400	503-8300-524.76-05		7/2008	68.65
			acct 24400	503-8300-524.76-05		7/2008	66.26
			acct 24400	503-8300-524.76-05		7/2008	60.50
						* Total	609.42
07/16/2008	89307	HEGGIES PIZZA	cust 1708	503-8300-524.76-05		7/2008	210.90
						* Total	210.90
07/16/2008	89317	JJ TAYLOR DIST. COMPANY	cust 834	503-8300-524.76-15		7/2008	378.47
						* Total	378.47
07/16/2008	89327	LITIN	cust inv0200	503-8600-527.60-50		7/2008	907.91
						* Total	907.91
07/16/2008	89329	LOWE'S	acct 99006764080	503-8600-527.60-20		7/2008	279.60
						* Total	279.60
07/16/2008	89330	M. AMUNDSON LLP	cust 902858	503-8300-524.76-05		7/2008	214.30
						* Total	214.30
07/16/2008	89357	PRECISION TURF & CHEMIC	cust inve01	503-8600-527.60-30		7/2008	2,197.72
			cust inve01	503-8600-527.60-30		7/2008	267.64
						* Total	2,465.36
07/16/2008	89360	R & R PRODUCTS INC	cust 55077i	503-8600-527.60-20		7/2008	475.50
						* Total	475.50
07/16/2008	89389	US FOODSERVICE	cust 223000	503-8300-524.76-05		7/2008	36.90
			acct 223000	503-8300-524.76-05		7/2008	89.36
			acct 223000	503-8300-524.76-05		7/2008	792.32
						* Total	844.78
07/16/2008	89392	VERSATILE VEHICLES, INC	acct tf 831	503-8400-525.40-41		7/2008	92.85
						* Total	92.85
07/23/2008	89410	ALL STAR PRO GOLF, INC.	acct 210365	503-8200-523.76-40		7/2008	538.56
						* Total	538.56
07/23/2008	89413	ARCTIC GLACIER, INC.	acct 1726134	503-8300-524.60-65		7/2008	27.80
						* Total	27.80
07/23/2008	89416	BAARS MECHANICAL, INC.	inverwood golf course	503-8300-524.40-42		7/2008	112.97
						* Total	112.97
07/23/2008	89424	COLLEGE CITY BEVERAGE	cust 3592	503-8300-524.76-15		7/2008	273.45
						* Total	273.45
07/23/2008	89430	DEX MEDIA EAST	acct 110360619	503-8500-526.50-25		7/2008	69.00
						* Total	69.00

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07/23/2008	89439	G & K SERVICES	cust 0157401	503-8600-527.60-45		7/2008 * Total	55.17 55.17
07/23/2008	89441	GARY'S PEST CONTROL	inverwood golf course	503-8500-526.40-40		7/2008 * Total	178.20 178.20
07/23/2008	89444	GRANDMA'S BAKERY	cust 24400	503-8300-524.76-05		7/2008	66.26
			cust 24400	503-8300-524.76-05		7/2008	66.26
			cust 24400	503-8300-524.76-05		7/2008	60.68
			cust 24400	503-8300-524.76-05		7/2008	60.72
			cust 24400	503-8300-524.76-05		7/2008	66.26
						* Total	320.18
07/23/2008	89449	HSBC BUSINESS SOLUTIONS	cust 7737040901315458	503-8000-521.60-65		7/2008 * Total	24.96 24.96
07/23/2008	89463	M. AMUNDSON LLP	cust 902858	503-8300-524.76-05		7/2008 * Total	176.86 176.86
07/23/2008	89465	MCURCHIE, AL	back up warning horn	503-8500-526.60-65		7/2008 * Total	59.70 59.70
07/23/2008	89467	MENARDS - WEST ST. PAUL	cust 30170265	503-8600-527.60-20		7/2008	106.84
			cust 30170265	503-8600-527.60-08		7/2008	29.98
			cust 30170265	503-8600-527.60-20		7/2008	81.78
						* Total	218.60
07/23/2008	89469	MN DEPT OF EMPLOYMENT &	city of inver grove hgts	503-8000-521.20-70		7/2008	270.00
			city of inver grove hgts	503-8300-524.20-70		7/2008	279.74
			city of inver grove hgts	503-8600-527.20-70		7/2008	322.43
						* Total	872.17
07/23/2008	89478	NIKE USA, INC.	cust 79282	503-8200-523.76-20		7/2008	22.06
			cust 79282	503-8200-523.76-20		7/2008	22.06
						* Total	44.12
07/23/2008	89482	PERFORMANCE DRAFT BEER	inver wood golf course	503-8300-524.40-42		7/2008 * Total	30.00 30.00
07/23/2008	89492	SOUTH BAY DESIGN	cust inverwood	503-8500-526.50-25		7/2008 * Total	410.00 410.00
07/23/2008	89496	TDS METROCOM	acct 6514573667	503-8500-526.50-20		7/2008 * Total	279.33 279.33
07/23/2008	89498	TITLEIST	acct 00836312430621771243	503-8200-523.76-45		7/2008 * Total	729.64 729.64
07/23/2008	89499	TIZIANI GOLF CAR	inverwood	503-8600-527.40-42		7/2008 * Total	272.49 272.49
07/23/2008	89505	US FOODSERVICE	cust 223000	503-8300-524.60-65		7/2008	496.26
			cust 223000	503-8300-524.76-05		7/2008	572.04

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07/23/2008	89505	US FOODSERVICE	cust 223000 cust 223000	503-8300-524.76-10 503-8300-524.60-65		7/2008 7/2008 * Total	137.60 41.63 1,247.53
07/23/2008	89513	YOCUM OIL COMPANY, INC.	acct 506975	503-8400-525.60-21		7/2008 * Total	1,664.18 1,664.18
				37 Checks	** Fund Total		16,440.11
07/16/2008	89276	CHAMPIONSHIP PRODUCTS	CUST IGH PARKS & REC CUST IGH PARKS & REC CUST IGH PARKS & REC cust igh parks & rec	504-6100-452.60-45 504-6100-452.60-45 504-6100-452.60-45 504-6100-452.60-45	R40950 R40180 R40100 R90100	7/2008 7/2008 7/2008 7/2008 * Total	106.80 30.00 2,218.50 237.84 2,593.14
07/16/2008	89308	HENNAGAR, DAWN	class canceled	504-0000-347.00-00	R41050	7/2008 * Total	82.00 82.00
07/16/2008	89310	HICKS, STAN JR	class canceled	504-0000-347.00-00	R20120	7/2008 * Total	114.00 114.00
07/16/2008	89351	PARTY UNIT	skate jam -vmcc	504-6100-452.30-70	R30950	7/2008 * Total	350.00 350.00
07/16/2008	89352	PENA, ALMA	did not use facility	504-0000-347.00-00	R60400	7/2008 * Total	127.80 127.80
07/16/2008	89361	RITCHIE, JACKIE	class canceled	504-0000-347.00-00	R20120	7/2008 * Total	114.00 114.00
07/16/2008	89363	RUSHTON, JULIE	class canceled	504-0000-347.00-00	R41050	7/2008 * Total	82.00 82.00
07/16/2008	89370	SAM'S CLUB	acct 7715090065702540	504-6100-452.60-09	R20140	7/2008 * Total	134.64 134.64
07/16/2008	89377	SOUTH ST PAUL UMPIRES A	city of inver grove hgts	504-6100-452.30-70	R50100	7/2008 * Total	4,482.00 4,482.00
07/16/2008	89378	SPORTS UNLIMITED	city of inver grove hgts	504-6100-452.30-70	R40600	7/2008 * Total	1,610.00 1,610.00
07/16/2008	89384	THOMPSON, NICK	team tennis link fees	504-6100-452.50-70	R40300	7/2008 * Total	63.00 63.00
07/23/2008	89417	BROADWAY AWARDS	city of inver grove	504-6100-452.60-09	R20680	7/2008 * Total	350.92 350.92
07/23/2008	89421	CHAMPIONSHIP PRODUCTS	acct igh parks & rec	504-6100-452.60-45	R90100	7/2008 * Total	143.00 143.00
07/23/2008	89451	IGH BASEBALL ASSOCIATIO	city of inver grove hgts	504-6100-452.30-70	R90100	7/2008 * Total	353.50 353.50

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07/23/2008	89452	IGH SOFTBALL FEDERATION	city of inver grove hgts	504-6100-452.30-70	R41050	7/2008 * Total	1,320.00 1,320.00
07/23/2008	89471	MN RECREATION AND PARK	city of inver grove hgts	504-6100-452.50-80	R10350	7/2008 * Total	60.00 60.00
07/23/2008	89486	SAVE A LIFE	billed to rich valley pk	504-6100-452.30-70	R90100	7/2008 * Total	565.00 565.00
07/23/2008	89487	SCHAEFFER, MIKE	deposits returned	504-0000-207.03-00	R60400	7/2008 * Total	15.60 240.00 255.60
07/23/2008	89497	THOMPSON, NICK	tickets to padleford supplies	504-6100-452.50-90 504-6100-452.60-09	R20120 R41000	7/2008 * Total	48.00 10.79 58.79
07/15/2008	89265	PUMP IT UP	CITY OF INVER GROVE HGTS	505-6200-453.50-90	C65100	7/2008 * Total	12,859.39 565.05 565.05
07/16/2008	89266	ACE PAINT & HARDWARE	CUST 1126	505-6200-453.60-16	C21000	7/2008 * Total	15.52 10.51 26.03
07/16/2008	89276	CHAMPIONSHIP PRODUCTS	CUST IGH PARKS & REC	505-6200-453.60-45	C65100	7/2008 * Total	184.00 932.10 182.90 1,299.00
07/16/2008	89279	COCA COLA BOTTLING COMP	outlet 3291552	505-6200-453.76-10	C30200	7/2008 * Total	108.68 56.33 49.50 2,552.63 2,767.14
07/16/2008	89300	GRAINGER	outlet 3291555	505-6200-453.60-85	C30400	7/2008 * Total	24.68 57.37 9.59 7.75 41.22 140.61
07/16/2008	89313	HUBBSCH SERVICES	ACCT 806460150	505-6200-453.60-65	C25000	7/2008 * Total	101.52 101.52
07/16/2008	89318	JOHNSON CONTROLS	ACCT 288129520201	505-6200-453.40-40	C25000	7/2008 * Total	2,634.67 2,634.67
07/16/2008	89320	KEN VRAA CONSULTING LLC	city of inver grove p/r	505-6200-453.30-70	C35000	7/2008 * Total	2,100.00 2,100.00

19 Checks ** Fund Total

CHECK DATE	CHECK NUMBER	VENDOR NAME	INVOICE# / DESCRIPTION	G/L NUMBER	PROJECT	PERIOD/ YEAR	AMOUNT
07/16/2008	89333	MAXIMUM SOLUTIONS	city of inver grove	505-6200-453.80-62	C10000	7/2008 * Total	582.50 582.50
07/16/2008	89334	MENARDS - WEST ST. PAUL	CUST 30170270	505-6200-453.60-12	C25000	7/2008 * Total	9.88 9.88
07/16/2008	89337	MN ASSOC OF GOV'T COMMU	attende; bethany adams	505-6200-453.50-80	C91000	7/2008 * Total	15.00 15.00
07/16/2008	89348	NIHCA	attende; beth adams	505-6200-453.50-80	C91000	7/2008 * Total	100.00 100.00
07/16/2008	89353	PETTY CASH - ATM	reimburse fees	505-6200-453.70-44	C10000	7/2008 * Total	8.42 8.42
07/16/2008	89368	SAM'S CLUB	acct 7715090061606950	505-6200-453.50-70	C25000	7/2008	35.00
			acct 7715090061606950	505-6200-453.60-11	C25000	7/2008	40.86
			acct 7715090061606950	505-6200-453.60-40	C70000	7/2008	29.61
			acct 7715090061606950	505-6200-453.60-65	C65100	7/2008	596.96
			acct 7715090061606950	505-6200-453.76-05	C30300	7/2008	238.53
			acct 7715090061606950	505-6200-453.76-10	C30300	7/2008 * Total	33.64 974.60
07/16/2008	89370	SAM'S CLUB	acct 7715090065702540	505-6200-453.60-65	C16000	7/2008	73.71
			acct 7715090065702540	505-6200-453.76-05	C16000	7/2008	128.31
			city of inver grove	505-6200-453.40-40	C25000	7/2008 * Total	202.02 555.23 555.23
07/16/2008	89393	VISTAR CORPORATION	cust 10135003	505-6200-453.60-65	C30400	7/2008	108.77
			cust 10135003	505-6200-453.76-05	C30400	7/2008	4,161.32
			C ust 10095779	505-6200-453.60-65	C16000	7/2008	32.64
			C ust 10095779	505-6200-453.76-05	C30200	7/2008 * Total	157.54 4,460.27
07/16/2008	89401	XCEL ENERGY	cust 5168679487	505-6200-453.40-10	C21000	7/2008	417.09
			cust 5168679487	505-6200-453.40-20	C25000	7/2008	17,119.42
			acct 8772105910127188	505-6200-453.50-80	C10000	7/2008 * Total	17,536.51 178.60 178.60
07/23/2008	89425	COMCAST	materials for class	505-6200-453.50-70	C70000	7/2008 * Total	60.00 60.00
07/23/2008	89446	HAWKINS, INC.	cust 108815	505-6200-453.60-15	C25000	7/2008	552.30
			cust 108815	505-6200-453.60-15	C25000	7/2008 * Total	1,340.19 1,892.49
07/23/2008	89447	HILLYARD INC	cust 267670	505-6200-453.60-11	C25000	7/2008 * Total	70.00 70.00

CHECK DATE	CHECK NUMBER	VENDOR NAME	INVOICE# / DESCRIPTION	G/L NUMBER	PROJECT	PERIOD/ YEAR	AMOUNT
07/16/2008	89299	GOPHER BEARING	acct 192980	603-5300-444.40-41		7/2008 * Total	27.40 27.40
07/16/2008	89304	HARMON AUTOGLASS-BURNSV	cust 4452	603-5300-444.40-41		7/2008 * Total	197.76 197.76
07/16/2008	89312	HOSE / CONVEYORS INC	acct 1459	603-5300-444.40-41		7/2008 * Total	68.10 68.10
07/16/2008	89321	KIMBALL MIDWEST	acct 222006	603-5300-444.60-12		7/2008 * Total	58.22 58.22
07/16/2008	89322	LANGULA HARDWARE INC	acct inver	603-5300-444.40-41		7/2008 * Total	263.66 263.66
07/16/2008	89331	MACQUEEN EQUIPMENT INC	city of inver grove	603-5300-444.40-41		7/2008 7/2008	46.17 30.98
07/16/2008	89339	MN LOCKS	city of inver grove	603-5300-444.40-40		7/2008 * Total	77.15 386.03 386.03
07/16/2008	89341	MONTICELLO FORD-MERCURY	vin 2fahp71v48x167661	603-5300-444.80-70		7/2008 * Total	47,226.00 47,226.00
07/16/2008	89342	MONTICELLO FORD-MERCURY	vin 2fahp71v28x167660	603-5300-444.80-70		7/2008 * Total	23,613.00 23,613.00
07/16/2008	89343	MOTOR PARTS SERVICE CO.	cust 7481	603-5300-444.40-41		7/2008 * Total	2.56 2.56
07/16/2008	89349	NORTHLAND CHEMICAL CORP	cust 45025141	603-5300-444.60-12		7/2008 * Total	49.40 49.40
07/16/2008	89371	SCHARBER & SONS	cust 4502581	603-5300-444.40-41		7/2008 * Total	49.35 49.35
07/16/2008	89386	TUREWERKS	acct t11270	603-5300-444.40-41		7/2008 * Total	13.70 13.70
07/16/2008	89395	WHITAKER LINCOLN MERCUR	acct 4198	603-5300-444.40-41		7/2008 7/2008	1,548.30 27.44
07/16/2008	89396	XCEL ENERGY	cust 5152791130	603-5300-444.40-20		7/2008 * Total	1,575.74 1,738.69 1,738.69
07/16/2008	89403	YOCUM OIL COMPANY, INC.	acct 502860	603-0000-145.60-00		7/2008 * Total	32,203.16 32,203.16
07/16/2008	89404	ZARNOTH BRUSH WORKS	acct 132669	603-0000-145.50-00		7/2008 * Total	455.82 455.82

City of Inver Grove Heights
CHECK REGISTER BY FUND

Prepared: 07/23/2008, 11:42:26
Program: GMI79L
Bank: 00 City of Inver Grove Heights

CHECK DATE	CHECK NUMBER	VENDOR NAME	INVOICE# / DESCRIPTION	G/L NUMBER	PROJECT	PERIOD/ YEAR	AMOUNT
07/16/2008	89405	ZIEGLER INC	acct 4069900	603-5300-444.40-41		7/2008 * Total	1,080.03 1,080.03
07/23/2008	89408	ACE PAINT & HARDWARE	cust 1126 cust 1126 cust 1126	603-5300-444.40-41 603-5300-444.60-12 603-5300-444.60-12		7/2008 7/2008 7/2008 * Total	48.84 5.92 4.46 59.22
07/23/2008	89419	CARQUEST OF ROSEMOUNT	acct 614420 acct 614420	603-0000-145.50-00 603-0000-145.50-00 603-5300-444.40-41 603-5300-444.40-41 603-5300-444.60-12 603-5300-444.40-41 603-0000-145.50-00 603-5300-444.40-41 603-5300-444.60-12 603-5300-444.60-12 603-5300-444.60-12		7/2008 7/2008 7/2008 7/2008 7/2008 7/2008 7/2008 7/2008 7/2008 7/2008 7/2008 * Total	6.65 80.91 10.65 10.65 42.69 56.33 44.67 242.36 4.96 5.26 11.72 495.55
07/23/2008	89431	DON PIEHL	city of inver grove hgts city of inver grove hgts	603-5300-444.60-40 603-5300-444.60-40		7/2008 7/2008 * Total	372.96 532.77 905.73
07/23/2008	89432	DOWNTOWNER DETAIL CENTE	city of inver grove pd	603-5300-444.40-41		7/2008 * Total	128.69 128.69
07/23/2008	89439	G & K SERVICES	acct 7494701 acct 7494701	603-5300-444.40-65 603-5300-444.60-45		7/2008 7/2008 * Total	91.99 40.61 132.60
07/23/2008	89443	GOPHER BEARING	acct 152980	603-5300-444.40-41		7/2008 * Total	27.40 27.40
07/23/2008	89445	HARMON AUTOGLASS-BURNSV	acct 4452	603-5300-444.40-41		7/2008 * Total	61.15 61.15
07/23/2008	89457	KIMBALL MIDWEST	acct 222006	603-5300-444.60-12		7/2008 * Total	517.84 517.84
07/23/2008	89461	LANGULA HARDWARE INC	cust inver	603-5300-444.40-41		7/2008 * Total	110.83 110.83
07/23/2008	89464	MACQUEEN EQUIPMENT INC	city of inver grove	603-5300-444.40-41		7/2008 * Total	361.95 361.95
07/23/2008	89494	ST. JOSEPH EQUIPMENT, I	cust ST0930	603-5300-444.40-41		7/2008 * Total	190.29 190.29
07/23/2008	89509	WHITAKER LINCOLN MERCUR	acct 4198	603-5300-444.40-41		7/2008 * Total	69.95 69.95

City of Inver Grove Heights
 CHECK REGISTER BY FUND

CHECK DATE	CHECK NUMBER	VENDOR NAME	INVOICE# / DESCRIPTION	G/L NUMBER	PROJECT	PERIOD/ YEAR	AMOUNT
07/16/2008	89356	PRECISION DATA SYSTEMS	POLICE DEPT - COPY PAPER	604-2200-416.60-05	** Fund Total	7/2008 * Total	529.84 529.84
07/16/2008	89365	S & T OFFICE PRODUCTS	acct 528777	604-2200-416.60-10		7/2008	121.25
			acct 528777	604-2200-416.60-10		7/2008	60.14
			acct 528777	604-2200-416.60-10		7/2008	153.24
			acct 528777	604-2200-416.60-10		7/2008	4.12
			acct 528777	604-2200-416.60-10		7/2008	83.06
			acct 528777	604-2200-416.60-10		7/2008	67.08
			acct 528777	604-2200-416.60-10		7/2008	39.93
					** Fund Total	* Total	528.82
07/16/2008	89368	SAM'S CLUB	acct 7715090061606950	604-2200-416.60-10		7/2008	31.21
					** Fund Total	* Total	31.21
07/16/2008	89370	SAM'S CLUB	acct 7715090065702540	604-2200-416.60-10		7/2008	20.26
					** Fund Total	* Total	20.26
07/23/2008	89450	HSEC BUSINESS SOLUTIONS	cust 7737430900083159	604-2200-416.60-10		7/2008	107.18
					** Fund Total	* Total	107.18
07/23/2008	89480	OFFICE EQUIPMENT FINANC	acct 923425	604-2200-416.40-50		7/2008	1,044.77
					** Fund Total	* Total	1,044.77
07/16/2008	89271	BKV GROUP, INC.	city of inver grove	605-3100-419.30-70	6 Checks	7/2008	2,262.08
					** Fund Total	* Total	258.05
07/16/2008	89290	EHLERS AND ASSOCIATES,	inver grove heights	605-3100-419.30-70		7/2008	258.05
					** Fund Total	* Total	200.00
07/16/2008	89315	INTEGRA TELECOM	cust 2129	605-3100-419.50-20		7/2008	200.00
					** Fund Total	* Total	150.00
07/16/2008	89350	NS/I MECHANICAL CONTRAC	city of inver grove	605-3100-419.40-40		7/2008	150.00
					** Fund Total	* Total	930.32
07/16/2008	89365	S & T OFFICE PRODUCTS	acct 528777	605-3100-419.60-65		7/2008	930.32
			acct 528777	605-3100-419.60-40		7/2008	7.94
					** Fund Total	* Total	22.50
07/16/2008	89390	US POSTMASTER	PD 95009-000	605-3100-419.50-35		7/2008	30.44
					** Fund Total	* Total	100.00
07/16/2008	89400	XCEL ENERGY	ACCT 5142529960	605-3100-419.40-10		7/2008	100.00
			ACCT 5142529960	605-3100-419.40-20		7/2008	191.78
					** Fund Total	* Total	3,483.07
07/23/2008	89418	BROTHERS MFG	city of inver grove	605-3100-419.60-11		7/2008	3,674.85
					** Fund Total	* Total	207.48

33 Checks 112,624.87

City of Inver Grove Heights
 CHECK REGISTER BY FUND

CHECK DATE	CHECK NUMBER	VENDOR NAME	INVOICE# / DESCRIPTION	G/L NUMBER	PROJECT	PERIOD/ YEAR	AMOUNT
07/23/2008	89514	ZEE MEDICAL SERVICE	cust 701	605-3100-419.60-65	** Fund Total	7/2008 * Total	140.40 140.40
9 Checks							5,691.54
07/16/2008	89275	CDW GOVERNMENT INC	CUST 2394832	606-1400-413.40-49		7/2008	125.37
			CUST 2394832	606-1400-413.40-49		7/2008 * Total	137.36 11.99
07/16/2008	89289	EASTON, DIANE	POSTAGE - MONITOR REPAIR	606-1400-413.50-35		7/2008 * Total	27.30 27.30
07/16/2008	89340	MN OFFICE OF ENTERPRISE	cust b00659	606-1400-413.30-70		7/2008 * Total	100.00 100.00
07/23/2008	89420	CDW GOVERNMENT INC	cust 2394832	606-1400-413.60-41		7/2008	6,906.73
			acct 2394832	606-1400-413.40-49		7/2008 * Total	373.72 7,280.45
07/23/2008	89429	DELL MARKETING	acct 019368783	606-1400-413.40-49		7/2008	721.63
			acct 019368783	606-1400-413.60-41		7/2008	1,664.21
			acct 019368783	606-1400-413.60-41		7/2008 * Total	81.11 2,466.95
07/23/2008	89481	OFFICE OF ENTERPRISE TE	cust 200b00171	606-1400-413.30-75		7/2008 * Total	311.81 311.81
07/23/2008	89507	VERIZON WIRELESS	acct 280581502	606-1400-413.50-20		7/2008 * Total	32.08 32.08
7 Checks							10,230.58
07/16/2008	89277	CHISAGO COUNTY COURTHOU	karen helen tuavilar	702-0000-229.10-00		7/2008 * Total	177.00 177.00
07/16/2008	89280	CULLIGAN	cust 157984732428	702-0000-228.63-00		7/2008 * Total	35.29 35.29
07/16/2008	89288	DOKMO, MARK	escrow balance	702-0000-230.43-00		7/2008 * Total	1,230.14 1,230.14
07/16/2008	89309	HENNEPIN COUNTY DISTRIC	derek michael johnson	702-0000-229.10-00		7/2008 * Total	50.00 50.00
07/16/2008	89325	LEVANDER, GILLEN & MILL	CLIENT 81000E	702-0000-228.29-00		7/2008	66.00
			CLIENT 81000E	702-0000-228.40-00		7/2008	44.00
			CLIENT 81000E	702-0000-228.73-00		7/2008	44.00
			CLIENT 81000E	702-0000-229.61-00		7/2008	4,475.35
			CLIENT 81000E	702-0000-229.78-00		7/2008	368.20
			CLIENT 81000E	702-0000-230.25-00		7/2008	2,751.05
			CLIENT 81000E	702-0000-230.28-00		7/2008	129.20
			CLIENT 81000E	702-0000-230.38-00		7/2008	3,220.20
			CLIENT 81000E	702-0000-230.42-00		7/2008	488.00

CHECK DATE	CHECK NUMBER	VENDOR NAME	INVOICE# / DESCRIPTION	G/L NUMBER	PROJECT	PERIOD / YEAR	AMOUNT
07/23/2008	89412	ARAMARK REFRESHMENT SER	cust 39398x	702-0000-228.65-00		* Total	11,586.00
						7/2008	84.22
						* Total	84.22
07/23/2008	89458	KLADK, LARRY	escrow balance	702-0000-228.62-00		* Total	10,000.00
						7/2008	10,000.00
						* Total	10,000.00
07/23/2008	89490	SKB ENVIRONMENTAL INC	overpmt escrow acct	702-0000-228.96-00		* Total	11,464.71
						7/2008	11,464.71
						* Total	11,464.71
07/23/2008	89506	VEIT & COMPANY INC	hydrant deposit returned	702-0000-229.43-00		* Total	919.94
						7/2008	919.94
						* Total	919.94
07/16/2008	89325	LEVANDER, GILLEN & MILL	CLIENT 81000E	703-5500-446.30-42	** Fund Total		35,547.30
						7/2008	1,547.07
						* Total	1,547.07
						** Fund Total	1,547.07
						*** Bank Total	2,741,202.39
						*** Grand Total	2,741,202.39

CITY OF INVER GROVE HEIGHTS

REQUEST FOR COUNCIL ACTION

Consider Pay Voucher No. 3 for Phase II VMCC Refrigeration Project – City Project 2008-06

Meeting Date: July 28, 2008
Item Type: Consent Agenda
Contact: Eric Carlson – 651.450.2587
Prepared by: Eric Carlson
Reviewed by: Eric Carlson – Parks & Recreation

Fiscal/FTE Impact:	
<input type="checkbox"/>	None
<input checked="" type="checkbox"/>	Amount included in current budget
<input type="checkbox"/>	Budget amendment requested
<input type="checkbox"/>	FTE included in current complement
<input type="checkbox"/>	New FTE requested – N/A
<input type="checkbox"/>	Other

PURPOSE/ACTION REQUESTED

Approve pay voucher No. 3 for the 2008 VMCC refrigeration modifications.

SUMMARY

The City Council approved hiring Gartner Refrigeration on March 24th, 2008 to perform refrigeration modifications at the VMCC. The contractor is requesting payment of work completed to date. The project is funded from the Closed Bond Fund in the amount of \$350,000 and the Host Community Fund in the amount of \$263,158.

To date the project is progressing on schedule and we have not experienced any issues. We have \$105,197.90 left to pay on the project, assuming this request is approved.

CITY OF INVER GROVE HEIGHTS
CONSTRUCTION PAYMENT VOUCHER

ESTIMATE NO. 3
DATE: July 21, 2008
PERIOD ENDING: July 14, 2008
CONTRACT: VMCC Phase II Refrigeration Project – 2008-06
PROJECT NO: 2008-06

TO: Gartner Refrigeration & Manufacturing Inc.
Attn: Bret Swanson
13205 – 16th Ave
Plymouth, MN 55441

A. Original Contract Amount	\$583,958
B. Total Addition (Change Order No. 1).....	NA
C. Total Deductions	NA
D. TOTAL CONTRACT AMOUNT.....	\$583,958
E. TOTAL VALUE OF WORK TO DATE	\$503,958
F. LESS RETAINED 5%.....	\$25,197.90
G. Less Previous Payment	\$166,427.74
H. TOTAL APPROVED FOR PAYMENT THIS VOUCHER.....	\$312,332.36
I. TOTAL PAYMENTS INCLUDING THIS VOUCHER	\$478,760.10

APPROVALS:

Pursuant to our field observations, I hereby recommend for payment the above stated amount for work performed through July 21, 2008.

Signed by: _____

Date

Signed by: _____

George Tourville, Mayor

Date

CITY OF INVER GROVE HEIGHTS

REQUEST FOR COUNCIL ACTION

Consider Pay Voucher No. 2 for City Project No. 2003-15 – Northwest Area Trunk Utility Improvements.

Meeting Date: July 28, 2008
 Item Type: Consent
 Contact: Steve W. Dodge, 651.450.2541 *SWD*
 Prepared by: Steve W. Dodge, Asst. City Engineer
 Reviewed by: Scott D. Thureen, Public Works Director *SDT ES*

Fiscal/FTE Impact:

- None
- Amount included in current budget
- Budget amendment requested
- FTE included in current complement
- New FTE requested – N/A
- Other: 2003-15 Project Funds and Contingency Funds

PURPOSE/ACTION REQUESTED

Consider Pay Voucher No. 2 for City Project No. 2003-15 – Northwest Area Trunk Utility Improvements.

SUMMARY

The improvements were ordered by the City Council on November 14, 2005. The contract was awarded to Ames Construction in the amount of \$9,537,706.15 on April 14, 2008. Pay Voucher No. 1 included a change order increasing the contract amount to \$9,652,918.65. The contractor has completed portions of the work in accordance with the contract plans and specifications. A 5% retainage will be maintained until the project is completed.

Pay Voucher No. 2 includes a payment for approximately \$660,300 dollars for materials delivered to the site and stored on the project with a deduction for materials already placed. This pay voucher also includes trunk line sewer work completed along Babcock Trail, portions of the forcemain work completed along 80th Street, and boring work completed along TH 55 and TH 3.

Public Works recommends approval of contractor Pay Voucher No. 2 in the amount of \$1,680,157.69 for City Project No. 2003-15 – Northwest Area Trunk Utility Improvements.

SD/rs
 Pay Voucher No. 2

CITY OF INVER GROVE HEIGHTS
CONSTRUCTION PAYMENT VOUCHER

ESTIMATE NO. 2
DATE: July 22, 2008
PERIOD ENDING: June 30, 2008
CONTRACT: Northwest Area Trunk Utility Improvements
PROJECT NO: 2003-15

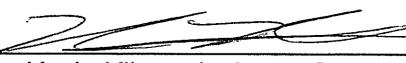
TO: Ames Construction, Inc.
2000 Ames Drive
Burnsville, MN 55306

A. Original Contract Amount.....\$9,537,706.15
B. Total Addition (Change Order No. 1)\$115,212.50
C. Total Deductions\$
D. TOTAL CONTRACT AMOUNT\$9,652,918.65
E. TOTAL VALUE OF WORK TO DATE\$2,384,516.34
F. LESS RETAINED (5%).....\$119,225.82
G. Less Previous Payment.....\$585,132.83
H. TOTAL APPROVED FOR PAYMENT THIS VOUCHER\$1,680,157.69
I. TOTAL PAYMENTS INCLUDING THIS VOUCHER\$2,265,290.52

APPROVALS:

Pursuant to our field observations, I hereby recommend for payment the above stated amount for work performed through June 30, 2008.

Signed by:  22 July 08
Scott Thureen, Public Work Director Date

Signed by:  7/22/08
Kevin Klimmek, Ames Construction Date

Signed by: _____
George Tourville, Mayor Date

CITY OF INVER GROVE HEIGHTS

REQUEST FOR COUNCIL ACTION

Consider Final Compensating Change Order No. 2 and Final Pay Voucher No. 4 for 2007 Pavement Management Program, City Project No. 2007-09C – Mill and Overlay

Meeting Date: July 28, 2008
 Item Type: Consent
 Contact: Scott D. Thureen 651.450.2571
 Prepared by: Scott D. Thureen, Public Works Director
 Reviewed by: N/A *SDT CS*

Fiscal/FTE Impact:	
<input type="checkbox"/>	None
<input type="checkbox"/>	Amount included in current budget
<input type="checkbox"/>	Budget amendment requested
<input type="checkbox"/>	FTE included in current complement
<input type="checkbox"/>	New FTE requested – N/A
<input checked="" type="checkbox"/>	Other: Assessments, Pavement Management Fund

PURPOSE/ACTION REQUESTED

Consider (a) Final Compensating Change Order No. 2, (b) Final Pay Voucher No. 4, (c) Engineer's Final Report, and (d) Resolution Accepting Work for the 2007 Pavement Management Program, City Project No. 2007-09C – Mill and Overlay.

SUMMARY

The improvements were ordered as part of the 2007 Improvement Program. The contract was awarded in an amount of \$573,098.70 to McNamara Contracting, Inc. on May 14, 2007.

The contractor has completed work through July 13, 2008 in accordance with the contract plans and specifications. Change Order No. 2 is a decrease of \$15,558.93 to adjust for the final quantities.

Engineering recommends approval of Final Compensating Change Order No. 2 in the amount of -\$15,558.93 (for a revised contract amount of \$595,641.57) and Final Pay Voucher No. 4 in the amount of \$5,956.43, for City Project No. 2007-09C – Mill and Overlay.

SDT/rs
 Attachment Pay Voucher No. 4
 Final Compensating Change Order No. 2
 Engineer's Final Report
 Resolution

CHANGE ORDER NO. 2

CITY PROJECT NO. 2007-09C
MILL AND OVERLAY

Owner: City of Inver Grove Heights 8150 Barbara Avenue Inver Grove Heights, MN 55077	Date of Issuance: July 22, 2008
Contractor: McNamara Contracting, Inc. 16700 Chippendale Avenue Rosemount, MN 55068	Engineer: City of Inver Grove Heights

You are directed to make the following changes in the Contract Documents:

Purpose of Change Order:

The contract has been modified to include the following:

See attached sheet

CHANGE IN CONTRACT PRICE	CHANGE IN CONTRACT TIME
Original Contract Price: \$573,098.70	Original Contract Time:
Previous Change Orders No. <u>1</u> to No. <u> </u>	Net Change from Previous Change Orders
Contract Price Prior to this Change Order \$611,200.50	Contract Time Prior to this Change Order
Net decrease of this Change Order (\$15,558.93)	Net Increase (Decrease) of Change Order
Contract Price with all Approved Change Orders \$595,641.57	Contract Time with Approved Change Orders
Recommended By:  Engineering Technician	Approved By: _____ McNamara Contracting, Inc.

Approved By:



Scott D. Thureen,
Public Works Director

Approved By:

George Tourville, Mayor

Date of Council Action:

July 28, 2008

Attachment to Change Order Number 2
City Project 2007-09C

Contractor: McNamara Contracting, Inc.

Project: Mill and Overlay

Description of Changes:

1. Final compensating amount to balance value of work completed and total payments made to Contractor. Accounts for miscellaneous increases and decreases in contract quantities listed in Final Payment Voucher form. The amount is calculated as follows:

Value of work completed to date (Prior to this change order)	\$595,641.57
Additional work included in this Change Order	\$ 0.00
Total Value of work completed to date	\$595,641.57
Contract amount to date	<u>\$611,200.50</u>
› Compensating Amount	- \$15,558.93

Total of Change Order #1 - \$15,558.93

CITY OF INVER GROVE HEIGHTS
DAKOTA COUNTY, MINNESOTA

ENGINEER'S REPORT OF FINAL ACCEPTANCE

CITY PROJECT NO. 2007-09C
MILL AND OVERLAY

July 28, 2008

TO THE CITY COUNCIL
INVER GROVE HEIGHTS, MINNESOTA

HONORABLE MAYOR AND CITY COUNCIL MEMBERS:

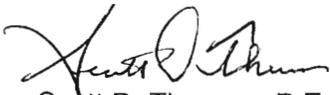
This is to advise you that I have received the work under contract to McNamara Contracting, Inc. The work consisted of bituminous mill and overlay.

The contractor has completed the project in accordance with the contract.

It is recommended, herewith, that final payment be made for said improvements to the contractor in the amount as follows:

ORIGINAL CONTRACT PRICE	\$573,098.70
CHANGE ORDERS (No. 1,2)	\$22,542.87
FINAL CONTRACT AMOUNT	\$595,641.57
FINAL VALUE OF WORK	\$595,641.57
PREVIOUS PAYMENTS	\$589,685.14
BALANCE DUE	\$5,956.43

Sincerely,


Scott D. Thureen, P.E.
Public Works Director

CITY OF INVER GROVE HEIGHTS
DAKOTA COUNTY, MINNESOTA

RESOLUTION ACCEPTING WORK OF MCNAMARA CONTRACTING, INC. AND AUTHORIZING
FINAL PAYMENT IN THE AMOUNT OF \$5,956.42

2007 PAVEMENT MANAGEMENT PROGRAM
CITY PROJECT NO. 2007-09C – MILL AND OVERLAY

RESOLUTION NO. _____

WHEREAS, pursuant to a written contract with the City of Inver Grove Heights dated May 14, 2007, McNamara Contracting, Inc., satisfactorily completed improvements and appurtenances for the 2007 Pavement Management Program, City Project No. 2007-09C – Mill and Overlay.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF INVER GROVE HEIGHTS: That the work completed under this contract is hereby accepted and approved, and

BE IT FURTHER RESOLVED: That the Mayor and the City Clerk are hereby directed to issue a proper order for final payment on such contract, taking the contractor's receipt in full.

Adopted by the City Council of Inver Grove Heights this 28th day of July 2008.

AYES:

NAYS:

George Tourville, Mayor

ATTEST:

Melissa Rheaume, Deputy Clerk

CITY OF INVER GROVE HEIGHTS

REQUEST FOR COUNCIL ACTION

Final Compensating Change Order No. 1 and Final Payment Voucher No. 2 for City Project No. 2008-09A – Joint and Cracksealing

Meeting Date: July 28, 2008
Item Type: Consent
Contact: Scott D. Thureen, 651.450.2571
Prepared by: Scott D. Thureen, Public Works Director
Reviewed by: N/A *SST* *J*

- Fiscal/FTE Impact:**
- None
 - Amount included in current budget
 - Budget amendment requested
 - FTE included in current complement
 - New FTE requested – N/A
 - Other: Pavement Management Fund

PURPOSE/ACTION REQUESTED

Consider: (a) Contractor Change Order No. 1, (b) Contractor Final Pay Voucher No. 2, (c) Engineer’s Final Report, and (d) Resolution Accepting Work under the 2008 Pavement Management Program – City Project No. 2008-09A – Joint and Cracksealing.

SUMMARY

The improvements were included as part of the 2008 Pavement Management Program. The contract was awarded in an amount of \$75,861.20 to Northwest Sealing, on May 27, 2008. Change Order No. 1 is for bid quantity adjustments. The change order is funded from the Pavement Management Fund. The contractor has completed the work in accordance with the contract plans and specifications.

Engineering recommends approval of (a) Contractor Change Order No. 1 in the amount of \$184.00, for a final contract price of \$76,045.20, (b) Contractor Final Pay Voucher No. 2 in the amount of \$14,827.96, (c) Engineer’s Final Report, and (d) Resolution Accepting Work under the 2008 Pavement Management Program City Project No. 2008-09A – Joint and Cracksealing.

SDT/rs
Attachment: Final Compensating Change Order No. 1
Final Pay Voucher No. 2
Engineer’s Final Report
Resolution Accepting Work

CHANGE ORDER NO. 1
FINAL COMPENSATING CHANGE ORDER

Project: Crack Seal

City Project: 2008-09A

<p>Owner: City of Inver Grove Heights 8150 Barbara Avenue Inver Grove Heights, MN 55077</p> <p>Contractor: Northwest Sealing 1441 Lind Road Cloquet, MN 55720</p>	<p>Date of Issuance: July 21, 2008</p> <p>Engineer: City Engineer</p>
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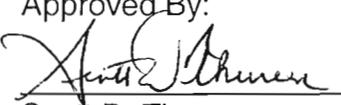
You are directed to make the following changes in the Contract Documents:

Purpose of Change Order:

The contract has been modified to include the following:

See attached explanation sheet.

CHANGE IN CONTRACT PRICE	CHANGE IN CONTRACT TIME
Original Contract Price: \$ 75,861.20	Original Contract Time:
Previous Change Orders \$ 0.00	Net Change from Previous Change Orders
Contract Price Prior to this Change Order \$ 75,861.20	Contract Time Prior to this Change Order
Net Increase of this Change Order \$ 184.00	Net Increase (Decrease) of Change Order
Contract Price with all Approved Change Orders \$ 76,045.20	Contract Time with Approved Change Orders
Recommended By:  Engineering Technician	Approved By: _____ Northwest Sealing

Approved By: 
 Scott D. Thureen,
 Public Works Director

Approved By: _____
 George Tourville, Mayor

Date of Council Action
 July 28, 2008

1. Bid Quantity Adjustment for: F & I Crack Sealant

Additional quantity from rounding error in measurements: add 1 Station

Additional quantity for extra work (seal saw cut at 3095 65th St): add 1 Station

Total Additional Stations = 1 + 1 = 2 Stations at \$92.00/Station

Total cost of item 1: (+)\$184.00

Total net cost of Bid Quantity Adjustments: (+)\$184.00

2. Final compensating amount to balance value of work completed and total payments made to Contractor. Accounts for miscellaneous increases and decreases in contract quantities listed in Final Payment Voucher form. The amount is calculated as follows:

Value of work completed to date (Prior to this change order)	\$ 76,045.20
Contract amount to date	\$ 75,861.20
Compensating Change Order Amount	\$ 184.00

Total of Final Compensating Change Order: \$184.00

CONSTRUCTION PAYMENT VOUCHER

ESTIMATE NO: 2 (Final)
DATE: July 28, 2008
PERIOD ENDING: July 21, 2008
CONTRACT: 2008 Pavement Management Program
PROJECT NO: 2008-09A Joint and Cracksealing Project

TO: Northwest Sealing
1441 Lind Road
Cloquet, MN 55720

Original Contract Amount.....\$75,861.20
Total Addition (Final Compensating Change Order No. 1) \$184.00
Total Deduction..... \$0.00
Total Contract Amount \$76,045.20
Total Value of Work to Date \$76,045.20
Less Retained (0%) \$0.00
Less Previous Payment \$61,217.24
Total Approved for Payment this Voucher..... \$14,827.96
Total Payments including this Voucher \$76,045.20

Approvals:

Pursuant to our field observation, I hereby recommend for payment the above stated amount for work performed through July 21, 2008.

Signed by: [Signature] July 21, 2008
Scott D. Thureen, Public Works Director

Signed by: Northwest Sealing. Date

Signed by: George Tourville, Mayor July 28, 2008

CITY OF INVER GROVE HEIGHTS
DAKOTA COUNTY, MINNESOTA

ENGINEER'S REPORT OF FINAL ACCEPTANCE

2008 PAVEMENT MANAGEMENT PROGRAM
CITY PROJECT NO. 2008-09A – JOINT AND CRACKSEALING

July 21, 2008

TO THE CITY COUNCIL
INVER GROVE HEIGHTS, MINNESOTA

HONORABLE MAYOR AND CITY COUNCIL MEMBERS:

This is to advise you that I have received the work under contract to Northwest Sealing. The work consisted of cracksealing within the City of Inver Grove Heights.

The contractor has completed the project in accordance with the contract.

It is recommended, herewith, that final payment be made for said improvements to the contractor in the amount as follows:

ORIGINAL CONTRACT PRICE	\$75,861.20
CHANGE ORDERS (No. 1)	\$184.00
FINAL CONTRACT AMOUNT	\$76,045.20
FINAL VALUE OF WORK	\$76,045.20
PREVIOUS PAYMENTS	\$61,217.24
BALANCE DUE	\$14,827.96

Sincerely,



Scott D. Thureen, P.E.
Public Works Director

SDT/kf

CITY OF INVER GROVE HEIGHTS
DAKOTA COUNTY, MINNESOTA

RESOLUTION ACCEPTING WORK OF NORTHWEST SEALING AND AUTHORIZING FINAL
PAYMENT IN THE AMOUNT OF \$14,827.96 TO NORTHWEST SEALING.

2008 PAVEMENT MANAGEMENT PROGRAM
CITY PROJECT NO. 2008-09A – JOINT AND CRACKSEALING PROJECT

RESOLUTION NO. _____

WHEREAS, pursuant to a written contract with the City of Inver Grove Heights dated May 27, 2008, Northwest Sealing, 1441 Lind Road, Cloquet, MN, satisfactorily completed improvements and appurtenances for the 2008 Pavement Management Program.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF INVER GROVE HEIGHTS: That the work completed under this contract is hereby accepted and approved, and

BE IT FURTHER RESOLVED: That the Mayor and the City Clerk are hereby directed to issue a proper order for final payment on such contract, taking the contractor's receipt in full.

Adopted by the City Council of Inver Grove Heights this 28th day of July 2008.

AYES:

NAYS:

George Tourville, Mayor

ATTEST:

Melissa Rheume, Deputy Clerk

CITY OF INVER GROVE HEIGHTS

REQUEST FOR COUNCIL ACTION

Pay Voucher No. 9 – Northwest Area Utility Improvements, Lift Station R-9.1 (City Project No. 2003-15A)

Meeting Date: July 28, 2008
 Item Type: Consent
 Contact: Scott D. Thureen, 651-450-2571
 Prepared by: Scott D. Thureen, Public Works Director
 Reviewed by: 

Fiscal/FTE Impact:	
<input type="checkbox"/>	None
<input type="checkbox"/>	Amount included in current budget
<input type="checkbox"/>	Budget amendment requested
<input type="checkbox"/>	FTE included in current complement
<input type="checkbox"/>	New FTE requested – N/A
<input checked="" type="checkbox"/>	Other: Sanitary Sewer Funds

PURPOSE/ACTION REQUESTED

Consider Pay Voucher No. 9 for City Project No. 2003-15A – Northwest Area Utility Improvements, Lift Station R-9.1.

SUMMARY

The City Council awarded a construction contract in the amount of \$1,732,300.00 to Sheehy Construction Company for City Project No. 2003-15A, Northwest Area Utility Improvements, Lift Station R-9.1.

The contractor has completed work through June 30, 2008 in accordance with the contract plans and specifications. A five (5) percent retainage will be maintained until the project is completed.

I recommend approval of Pay Voucher No. 9 in the amount of \$71,708.05 for work on City Project No. 2003-15A – Northwest Area Utility Improvements, Lift Station R-9.1.

SDT/rs

Attachment: Pay Voucher No. 9

CITY OF INVER GROVE HEIGHTS
CONSTRUCTION PAYMENT VOUCHER

ESTIMATE NO. 9

DATE July 9, 2008

PERIOD ENDING June 30, 2008

CONTRACT Northwest Area Utility Improvments - Lift Station R-9.1

PROJECT NO. 2003-15

TO: **Sheehy Construction Company**
360 W. Larpenteur Avenue
St. Paul, MN 55113

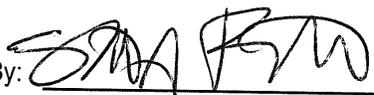
A. Original Contract Amount.....	\$ 1,732,300.00
B. Total Addition (Change Order No.).	\$ 0.00
C. Total Deductions.....	\$ 0.00
D. TOTAL CONTRACT AMOUNT.....	\$ 1,732,300.00
E. TOTAL VALUE OF WORK TO DATE.....	\$ 1,529,204.00
F. LESS RETAINED (5%).....	\$ 76,460.20
G. Less Previous Payment.....	\$ 1,381,034.95
H. TOTAL APPROVED FOR PAYMENT THIS VOUCHER.....	\$ 71,708.85
I. TOTAL PAYMENTS INCLUDING THIS VOUCHER.....	\$ 1,452,743.80

APPROVALS:

Pursuant to our field observations, I hereby recommend for payment the above stated amount for work performed through June 30, 2008.

Signed By: 
Daniel M. Krause, President

7/9/08
Date

Signed By: 
BETH A. PETERSON, P. E.

14 July 2008
Date

Signed By: _____
George Tourville, Mayor

Date

CITY OF INVER GROVE HEIGHTS

REQUEST FOR COUNCIL ACTION

Pay Voucher No. 5 – City Project No. 2006-04, Drilling of City Well No. 9

Meeting Date: July 28, 2008
 Item Type: Consent
 Contact: Scott D. Thureen, 651.450.2571
 Prepared by: Scott D. Thureen, Public Works Director
 Reviewed by: 

Fiscal/FTE Impact:	
<input type="checkbox"/>	None
<input type="checkbox"/>	Amount included in current budget
<input type="checkbox"/>	Budget amendment requested
<input type="checkbox"/>	FTE included in current complement
<input type="checkbox"/>	New FTE requested – N/A
<input checked="" type="checkbox"/>	Other: Water Operating Fund

PURPOSE/ACTION REQUESTED

Consider Pay Voucher No. 5 for City Project No. 2006-04 – Drilling of City Well No. 9.

SUMMARY

The improvements were ordered by the City Council on November 13, 2007. The contract was awarded to E. H. Renner & Sons, Inc. in the amount of \$294,960.00 on January 14, 2008. The contractor has completed the work through July 1, 2008 in accordance with the contract plans and specifications. A 5% retainage will be maintained until the project is completed.

Public Works and Bonestroo recommend approval of contractor Pay Voucher No. 5 in the amount of \$32,675.25 for work completed on City Project No. 2006-04 – Drilling of City Well No. 9.

SDT/rs
Pay Voucher No. 5



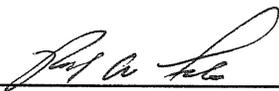
Owner: City of Inver Grove Heights, 8150 Barbara Avenue, Inver Grove Heights, MN 55077	Date: July 1, 2008
For Period: 6/3/2008 to 7/1/2008	Request No: 5
Contractor: E.H. Renner & Sons, Inc., 15688 Jarvis Street NW, Elk River, MN 55330	

CONTRACTOR'S REQUEST FOR PAYMENT
 DEEP WELL NO. 9
 BONESTROO FILE NO. 000476-07004-0
 CITY PROJECT NO. 2006-4

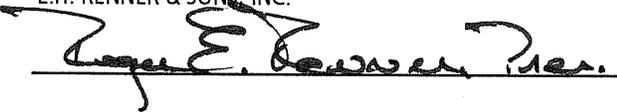
SUMMARY

1	Original Contract Amount		\$	294,960.00
2	Change Order - Addition	\$ 0.00		
3	Change Order - Deduction	\$ 0.00		
4	Revised Contract Amount		\$	294,960.00
5	Value Completed to Date		\$	185,895.03
6	Material on Hand		\$	0.00
7	Amount Earned		\$	185,895.03
8	Less Retainage 5%		\$	9,294.75
9	Subtotal		\$	176,600.28
10	Less Amount Paid Previously		\$	143,925.03
11	Liquidated damages -		\$	0.00
12	AMOUNT DUE THIS REQUEST FOR PAYMENT NO. <u>5</u>		\$	<u>32,675.25</u>

Recommended for Approval by:
BONESTROO



Approved by Contractor:
E.H. RENNER & SONS, INC.



Approved by Owner:
CITY OF INVER GROVE HEIGHTS

Specified Contract Completion Date:

Date:

CITY OF INVER GROVE HEIGHTS

REQUEST FOR COUNCIL ACTION

Approve purchase of upgrade to VersaView software

Meeting Date: July 28, 2008
Item Type: Consent
Contact: Scott D. Thureen, 651-450-2571
Prepared by: Scott D. Thureen, Public Works Director
Reviewed by:

Fiscal/FTE Impact:	
<input type="checkbox"/>	None
<input type="checkbox"/>	Amount included in current budget
<input type="checkbox"/>	Budget amendment requested
<input type="checkbox"/>	FTE included in current complement
<input type="checkbox"/>	New FTE requested – N/A
<input checked="" type="checkbox"/>	Other: MIS Fund

PURPOSE/ACTION REQUESTED

Consider purchase of upgrade to VersaView software.

SUMMARY

Public Works staff has been looking at options for automating the Department's tracking of citizen service requests and inquiries. The City's GIS Coordinator has identified an upgrade to a software product that we currently use that will meet our needs and provide additional benefits. Park Maintenance has also been interested in acquiring the same type of software.

The City currently has the software VersaView by Cartegraph Systems. This software allows the City to create custom databases and interactive database application for users. With our current licensing configuration only four computers can have this software installed and concurrently used limiting the applications accessed by staff, and limiting the applications only to what we have a hard license (i.e., the software can only be installed on one computer) for "VersaView, Map Director For ArcView and SignView". The quote we received provides what is called a flex license. The flex licensing configuration will allow the City to have access to Cartegraphs full software suite and allow installation on unlimited computers though out the City. The flex license gives the City read only capability for users who only need to view data and create weekly or monthly reports and six full application licenses to access any software package the company offers. With the move to a flex licensing configuration WORKdirector and CALLdirector will be implemented. This also allows the City to access the asset management software modules STORMview, SEWERView, WATERview, LIGHTview, MARKERview. Each of the asset management modules allows for in depth asset tracking, management and reporting though customized interfaces and reports.

CALLdirector provides an interface that helps gather all the information needed to record any work request. The program is designed for report taking, recording and issue resolution.

WORKdirector gives the City the functionality to manage all of the work activities performed in Public Works or City wide in a customized interface. From an initial request for work to the scheduling of routine maintenance through the completion of each project, WORKdirector tracks and maintains data on activities, materials, employees and equipment used in daily operations.

I recommend approval of the acquisition of the upgrade to the VersaView software package from CarteGraph Systems, Inc. in the amount of \$10,990.00 plus \$1,000 to bring a representative of the supplier onsite to install the software and optimize the system.

SDT/rs

CITY OF INVER GROVE HEIGHTS

REQUEST FOR COUNCIL ACTION

Approve purchase of six inch pressure reducing station from Northwestern Power Equipment Company, Inc.

Meeting Date: July 28, 2008
Item Type: Consent
Contact: Jim Sweeney, Utility Superintendent
Prepared by: Jim Sweeney, Utility Superintendent
Reviewed by: Scott D. Thureen, Public Works Director

SDT

Fiscal/FTE Impact:

- None
- Amount included in current budget
- Budget amendment requested
- FTE included in current complement
- New FTE requested – N/A
- Other: Water Connection Fund

PURPOSE/ACTION REQUESTED

Approve purchase of six inch pressure reducing station from Northwestern Power Equipment Company, Inc.

SUMMARY

This valve is necessary to replace the six inch pressure reducing valve that is currently located at Concord Boulevard and 70th Street. The Utility Division supplies water to the "Concord Pressure Zone" through this valve, and another valve located on Dawn Way and Concord Boulevard near the Moose Lodge building. These two valves work together automatically to keep the water pressure in this area at a reasonable level – about 75 to 80 pounds per square inch. It is a recommended standard in the water industry to have at least two of these type of valves to service an area this size.

As part of the Concord Boulevard Reconstruction Project, the 8 inch watermain that runs along Concord Boulevard from 68th Street to 70th Street is going to be removed because the City has multiple watermains supplying the area. This watermain is one of two that serve the same property between Concord Boulevard and Delilah Avenue. To accomplish removal of this watermain, it will be necessary to install this new pressure reducing valve on 66th Street near the former Inver Grove School. With the installation of this new valve on 66th Street, the City will retain its dual reduced pressure water supply to the "Concord Pressure Zone".

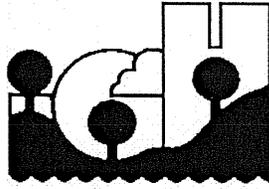
This work is not required as a result of the County's Concord Boulevard project. Staff identified it as a low cost opportunity to remove an aging overly-redundant portion of the system. The work would be funded from the Water Connection Fund. Quotes were requested from two suppliers.

Northwestern Power Equipment Company, Inc.	\$37,678.64
Dakota Pump Incorporated	\$47,110.28

I recommend accepting the quote from Northwestern Power Equipment Company, Inc. for \$37,678.64.

SDT/rs

- Attachments: Memo
- Map
- Quotes



City of Inver Grove Heights
UTILITY DIVISION

MEMORANDUM

TO : Scott Thureen

FROM : Jim Sweeney

SUBJECT : **66th Street PRV Proposals**

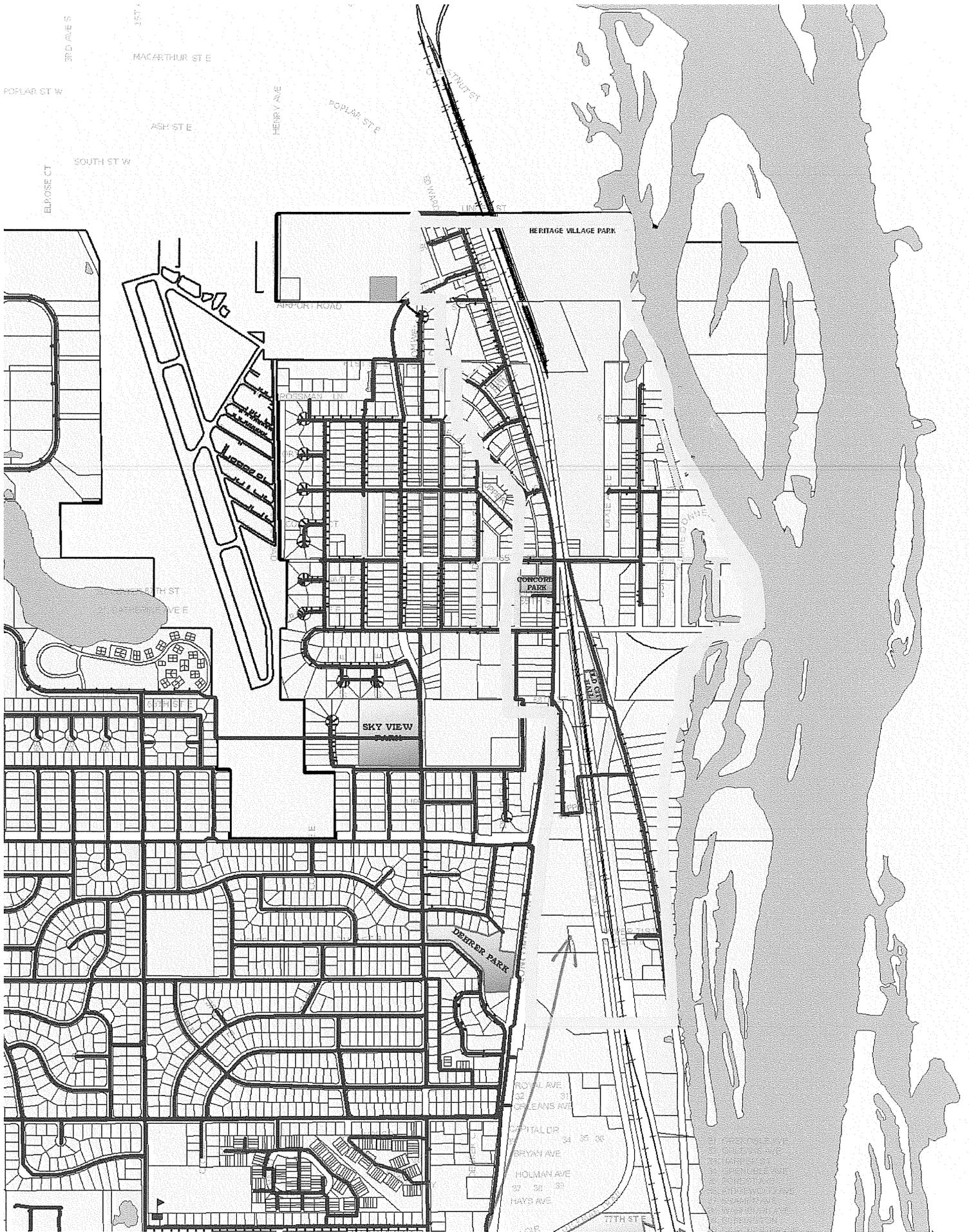
DATE : June 25, 2008

Attached are 2 proposals for a new pressure reducing valve (prv) vault that will be installed in the 4100 block of 66th Street East. As you are aware, the new prv package will replace our existing Concord Boulevard PRV that is being removed as part of the Dakota County Highway 56 reconstruct.

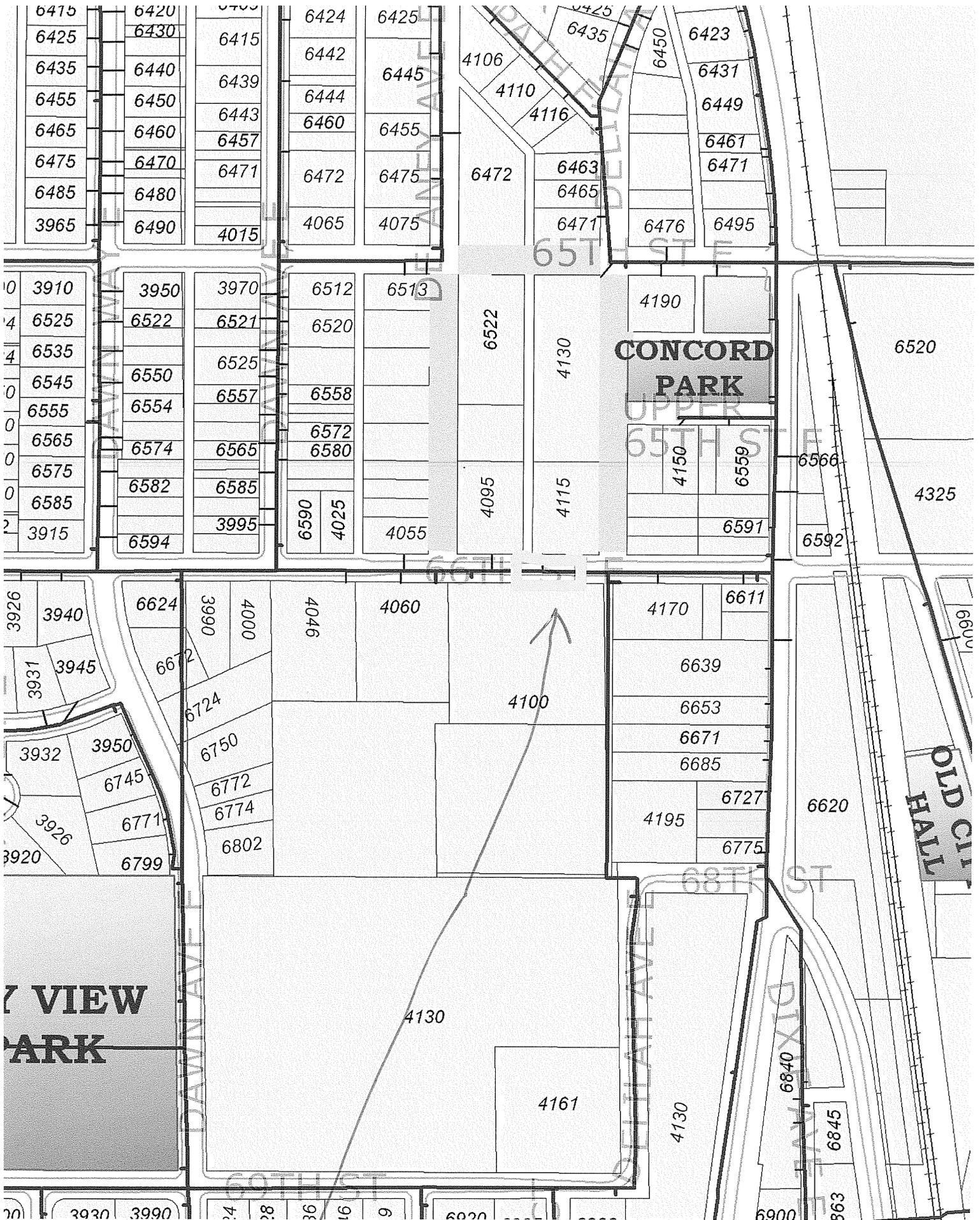
The 66th Street PRV will join the existing Dawn Way PRV to supply what we refer to as our Concord Area Pressure Zone (see attached map). By supplying this area through prv's we are able to maintain pressures between 70 and 80 psi. If we were to allow the area to be supplied without pressure reduction the watermain pressures would exceed 130 psi.

Utilities Division recommends purchasing the proposed equipment from Northwestern Power Equipment Company for the amount of \$ 37,678.64 including sales tax. Delivery will be 6 to 8 weeks from order date, and should allow sufficient time to complete this project before November 1, 2008.

Thanks, Jim



CONCORD AREA PRESSURE ZONE



Celestine St. PRV LOCATION

Northwestern Power™ Equipment Co., Inc.

2740 Patton Road ♦ P.O. Box 131180 ♦ Roseville, MN 55113

Phone: 651/628-0683 ♦ Fax: 651/628-0753

www.nwpeco.com

FAX TRANSMITTAL

DATE: 6/23 /2008 TOTAL PAGES: 1
 TO: JIM SORRELLY, UTILITY SUPV. PHONE NO:
 COMPANY: CITY OF TOWER GROVE HEIGHTS FAX NO: 651-455-9965
 SUBJECT: CORIX UNDERGROUND CONCRETE PAV VAOULT

SORRY FOR THE DELAY BUT CORIX FINALLY SAID THEY WOULD NOT DEVELOP A 11'x6' OR 12'x6' VAULT. INSTEAD, THEY PROPOSE THEIR 13'x7' STANDARD DESIGN AS THE NEXT LARGER SIZE FROM THE 10'x5'. TO SUMMARIZE THEM:

- A. CORIX MODEL AR 7465 WITH 7'x4' VAULT, 2" x 6" CLA-VAL PAVE, ETC., PAV QUOTE # 02-02-0231 + OMS OF 4-18-08 - \$28,641⁰⁰
- B. CORIX MODEL AR 10565 WITH 10'x5' VAULT, ETC. - \$30,891⁰⁰
- C. " " AR 13765 " 13'x7' " " - \$35,041⁰⁰

NOTE - SEE OUR 4-18-08 QUOTE FOR OPTIONAL EQUIPMENT.

I CALCULATED FLOOR AREAS TO COMPARE WITH ROUND MANHOLES AS FOLLOWS:

- 1. VAULTS - 7'x4' = 28 SQ. FT.; 10'x5' = 50 SQ. FT. + 13'x7' = 91 SQ. FT.
- 2. MANHOLES - 5' DIAM. = 20" " ; 6' DIAM. = 28" " , + 7' DIAM. = 39" " ; 8' DIAM. = 50 SQ. FT.

IN OTHER WORDS, THE 10'x5' VAULT IS EQUAL TO AN 8' DIAM. MANHOLE TO AREA. CALL FOR IT YOU HAVE ANY QUESTIONS.

Bob Gerhard

FROM: BOB GERHARD
 EMAIL: robertegerhard@aol.com
 CC: DEN KLOCK, OFFICE
 ANDY CASELLI, CLA-VAL Co.

Northwestern Power™ Equipment Co., Inc.

TO:

JIM SWANNICK
UTILITY SUPT,
CITY WATER DEPT.
RIVER GROVE HEIGHTS, MN

(FAX 651-455-9405)

DATE:

4-28-08

REFERENCE:

CONIX CONCRETE
VAULT PRESSURE
REDUCING VALVE STATION

FROM:

Bob Gerhard
P.O. Box 131180
Roseville, MN 55113
Phone: 651-628-0883
Fax: 651-628-0753

DESCRIPTION	QTY.	UNIT PRICE	TOTAL
A. CONIX MODEL AE 74165 PARAST CONCRETE CHAMBER 7' L x 4' W x 6'-6" H INSIDE DIMENSIONS, PER QUOTE # 08-02-6231 - ONE			WEIGHTS
B. 2" CLA-VAL MODEL 906-D1BCSYKCKK-X101 LOW FLOW PR. RED. VALVE, DIST-150" FICD, WITH SS TRIM, TUBING & FITTINGS, THERMAL PROTECTORS, OPENING & CLOSING SPEED CONTROLS, EXTERNAL Y STRAINER, FUSED-EMERY COATING INSIDE & OUT, VALVE POSITION INDICATOR + 15-75 OR. 30-300 PSI ADJUST. RANGE - ONE (INCLUDED) 50 LBS			
C. 6" CLA-VAL MODEL 906-D1BCSYKCKK-X101 DITTO EXCEPT BRASS TRIM & DRAIN SLEEVE ON MAIN STEM - ONE (") 300"	ONE	(")	
D. FREIGHT TO RIVER GROVE HEIGHTS - ONE (")	ONE	(")	
E. START-UP SERVICE & OPERATOR TRAINING - AS REQD. (")	AS REQD.	(")	
F. OPTIONAL EQUIPMENT:			
1. ADD FOR FROST DEHUMIDIFIER - ONE \$ 469.00	ONE	\$ 469.00	
2. " " STALPRO HEATER - " \$ 531.00	"	\$ 531.00	
3. " " ZOLLER SUMP PUMP - " \$ 338.00	"	\$ 338.00	

Prices: Net FOB Factory

Terms: Net 30 Days, Subject to Credit Approval

Estimated Shipping Time: 6 to 8 WEEKS Days/Weeks

Estimated Submittal Time: " " WEEKS Days/Weeks

Freight Allowed: Yes No

Startup Service & Training Included: Yes No

Subtotal

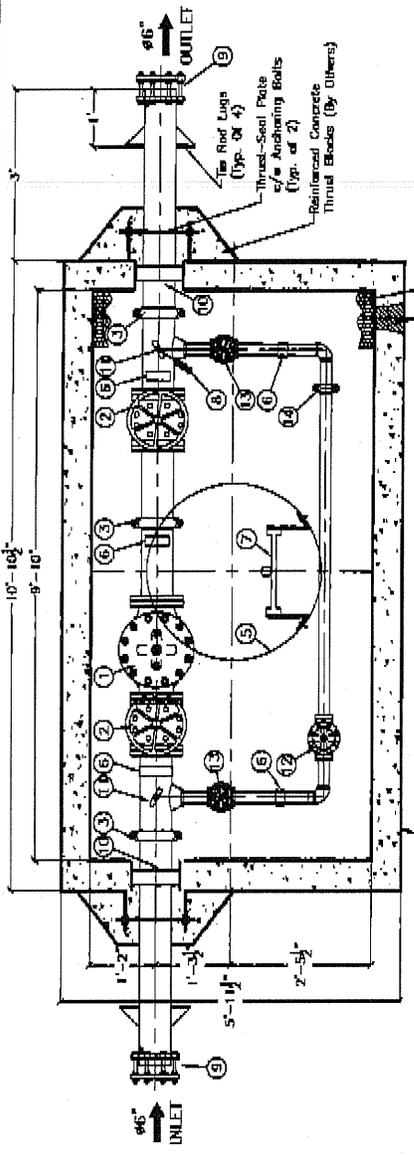
Tax % PLUS TAX

Total

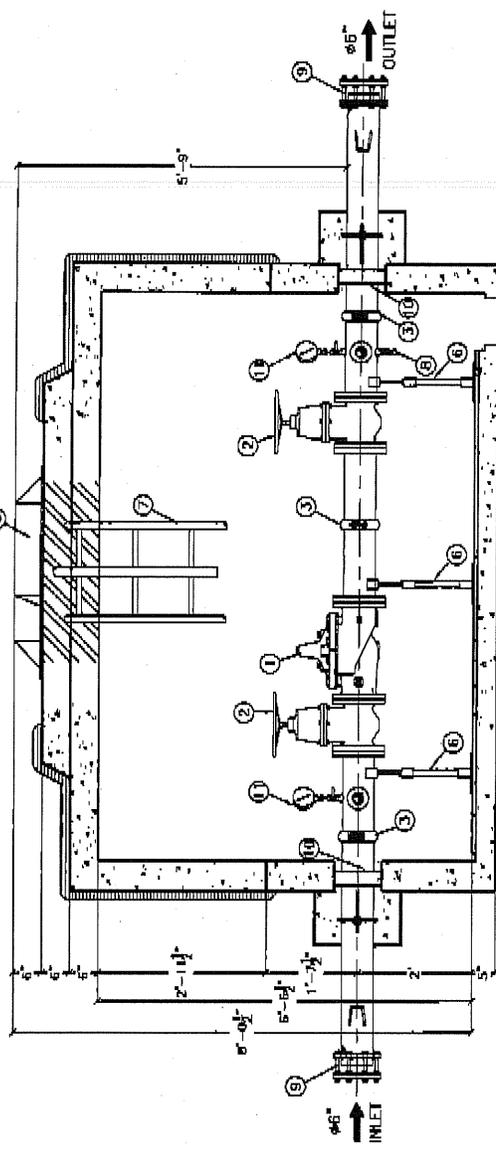
CC. DODD LUCK OFFICE
ANDY CABELL, CLA-VAL CO

Bob Gerhard

ALL 125 / 150 ANSI



PLAN



ELEVATION

NOTE:
WALL #10555 (N-20 LOADING)
INSIDE DIMENSIONS:
10' L x 5' W x 5'-0" H

STANDARD FABRICATION & FINISHING SPECIFICATION
FABRICATED STEEL PIPE & FITTINGS TO BE
SCHEDULE NO. 40 STEEL PIPE FOR SIZES
TO 10", AND 3/8" WALL FOR 12" AND LARGER.

ALL 2" AND SMALLER PIPE TO BE THREADED BRASS ALL 3"
AND LARGER PIPE, INSIDE WETTED SURFACES TO BE
SANDBLASTED, EPOXY LINED AND COATED TO ANMA
E-210 AND NSF-61 SPECIFICATION. FINISH COATING WILL
BE BLUE ENAMEL.

BILL OF MATERIALS	
ITEM QTY.	DESCRIPTION
1	6" CIA-VL 906-01 BCSY Pressure Reducing Valve 1/2" X 101 Position Indicator, DEBT - #150 Flgd
2	2" Close NRS RW Gate Valve 1/2" Handwheel - #150 Flgd
3	6" VICTAULIC #07 Coupling
4	10555 Precast Concrete Chamber 1/2" White Interior & Black Exterior Swoolent Chamber Installation
5	223 Cast Iron Manhole Frame & Cover 200-44 Class B Loading (Shipped Loose Installed By Others)
6	Adjustable Pipe Supports
7	Aluminum Ladder with Safety Post
8	3/4" Hose Bib 1/2" Youarn Breaker
9	2" EBAA BRDM Transition Coupling 3800 Series
10	2" Pipe Steel Assembly
11	2" 4" (6-200psi) Pressure Gauge
12	2" CIA-VL 906-01 BCSY Pressure Reducing Valve 1/2" X 101 Position Indicator, DEBT - #300 Threaded
13	2" Close NRS RW Gate Valve 1/2" Handwheel - #300 Threaded
14	2" VICTAULIC #07 Coupling

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CORIX™
Water Systems

TITLE: 6" x 2" PRV STATION

PROJECT: INVER GROVE HEIGHTS MN

QUOTE: 05-02-0232

DATE: APR 2/08 OK'D: DM APP'D: JY SHEET 1 OF 1

DRAWN: LT DRAWING NO: 08957151-1 REV: A

SCALE: 1:30

CORIX
Water Systems

Corix Water Systems

#100-20329 Logan Avenue, Langley, B.C. V3A 4L8 Canada Ph. (604) 539-8399 Fax (604) 539-8309
TOLL FREE 1-800-500-8855 E-mail : diana.morley@corix.com

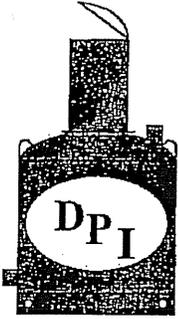
RE: **Inver Grove Heights, MN**

QUOTE # **08-02-0232/R1**

- 1 - 6" Cla-Val 90-01 BCSY X101 Pressure Reducing Valve
6" 100-01 main valve, ductile iron, bronze trim, 150# flanged, globe style
Supplied by others (DWARCO)
- 1 - 2" Cla-Val 90-01 BCSY X101 Pressure Reducing Valve
2" 100-01 main valve, ductile iron, bronze trim, 300# threaded, globe style
Supplied by others (DWARCO)
- 2 - 6" Clow NRS RW Gate Valve 150# Flange c/w handwheel
- 2 - 2" Clow NRS RW Gate Valves, threaded c/w handwheel
- 1 - 3/4" Hose bib c/w vacuum breaker
- 3 - 6" Victaulic 07 Coupling
- 1 - 2" Victaulic 07 Coupling
- 2 - 4" Liquid filled pressure gauges c/w isolation valve 0-200
- 1 - AE Precast 10565 Chamber
10' L X 5' W X 6'6" D inside dimensions
Cored 10" holes for 6" pipe
CS55 Black Exterior Dampproofing - bottom only
CS55 White Interior Paint
Electrical Conduits (3)
- 1 - Chamber Insulation
- 1 - C23 Cast Iron Manhole Frame and Cover WT
shipped loose installed by others
- 1 - BCA Aluminum Safety Ladder c/w brackets
shipped loose installed by others
- 4 - Galvanized Pipe Supports
- 2 - 6" EBAA Iron 3600 Series Translation Couplings
shipped loose installed by others
- 2 - 6" Pipe Seal

Diana Morley
Project Manager

WE ARE EXCLUSIVE DISTRIBUTORS FOR CLA-VAL, APCO AND FEBCO...
PLEASE GIVE US A CALL FOR QUOTATIONS OR TECHNICAL ADVICE
formerly TERA SEN WATER INC.



DAKOTA PUMP INCORPORATED

P. O. BOX 947 - MITCHELL, SD 57301 - PHONE (605) 996-6636 - FAX (605) 996-6067

sales@dakotapump.com

PROPOSAL # 08-05-1

PROJECT NAME: 4115 66th Street East
PROJECT LOCATION: Inver Grove Heights, Minnesota

We hereby propose to furnish:

One (1) Dakota Pump Inc. factory built pressure reducing valve vault, complete as follows:

All equipment is assembled in a 9' diameter by 7' high welded steel chamber, with a Neenah Foundry Type R-6668-L6 entrance lid with aluminum ladder for access. The principal items of equipment include: power and control panel with circuit breakers for 1/60/230 volt power; mountings for telemetry (furnished by others); 6" diameter plain end steel pipe exterior inlet and outlet connections; 6"/2" steel interior piping and valves, including one 6" Cla-Val 90-01AS pressure reducing valve, one 2" Cla-Val 90-01AS pressure reducing valve, one 6" bypass line, and butterfly isolation valves as required; lighting; ventilation blower terminating out the side wall with flanged connections; sump pump; dehumidifier; heater; four 17# packaged magnesium anode packs; two pressure gauges; unit is shop painted and wired, except for power feed lines and external connections; Dakota Pump Inc. standard construction features, materials and appurtenances.

Add \$ 1,496.00 to the below price for polyurethane spray insulation (top and sides).
Add \$ 1,441.00 to the below price for fusion bonded internal pipe coating.

TOTAL PRICE - \$ 44,235.00, F.O.B. factory, freight allowed to jobsite or nearest passable road, plus any applicable Federal, State or Local taxes. (No taxes in price quoted). This proposed price is firm, provided this proposal is signed and returned within 45 days of date bid and if approved submittals are received at the factory within 45 days of the date mailed from the factory.

TERMS - Net due 30 days after date of billing, with appropriate bonding. These terms are independent of and are not contingent upon the manner in which the purchaser may receive payment from others. Retainages are available, please contact the factory for details.

ESTIMATED DELIVERY - 12 to 14 weeks after formal approval. APPROXIMATE UNIT WEIGHT - 18,500 #. Unloading at jobsite by others. Field welding, installation, and power entrance wiring by others (as required).

SUPERVISION AND START-UP SERVICE - (is) ~~(is not)~~ included in this proposal, _____ day(s), _____ trip(s).

Accepted _____ 20 Submitted May 27, 2008

by _____
(Signature)

(Print or Type Name Above) (Title)

(Company)

(Address)

(Phone Number) (FAX Number)

Bill Sebert

Bill Sebert, Sales
DAKOTA PUMP INCORPORATED

Represented by Engineering America
Salesman Kevin Regan

NOTE: All orders subject to the terms and conditions listed above and noted on the reverse side.

CONDITIONS

1. Proposals on specific CONTRACTS are void unless accepted by buyer within 45 days of the date on the Proposal, unless extended in writing. Dakota Pump Incorporated's, (hereafter referred to as Seller), acceptance of order is subject to the approval of the Seller's credit department.
2. Sizes, items, and quantities represent only our interpretation of the plans and specifications, and are not to be construed as being correct and exact. Any equipment not specifically mentioned on the Proposal, may not be included and Buyer should contact seller for written clarification, should questions arise. Any State, Local or Federal inspections or permits, required for electrical systems, maintenance lift, or other furnished equipment, shall be at the expense of the Buyer.
3. This Proposal shall be considered as the CONTRACT, when signed by an Authorized Agent of the Buyer, and accepted and acknowledged by an Authorized Representative of the Seller's home office in Mitchell, South Dakota. No condition, representation, or agreement altering, detracting from, or adding to the provisions of this order shall be valid unless such condition, representation, or agreement is in writing and approved by the Buyer and an Authorized Representative of the Seller's home office in Mitchell, South Dakota.
4. Any taxes, tariffs, or duties which may be levied on this material, are the Buyer's liability, and are not included in this Proposal.
5. Seller's payment terms are Net due 30 days after date of billing. Seller may ship in a "when ready" basis and partial invoice that equipment shipped. Partial invoices are bound by the same terms and conditions as those invoices submitted upon complete shipment of equipment. Service Charges at the maximum legal rate per month allowed by the State in which the sale is made, will be charged to the Buyer on the unpaid balance of all billings over 30 days old.
6. The Buyer accepts that no retentions or backcharges shall be withheld from the TOTAL SELL PRICE of this Proposal, without the approval of the Seller by written Purchase Order.
7. Prices quoted are F.O.B. Factory with full freight allowed, based on current applicable freight rates, any increase thereof shall be passed on to the Buyer. Delivery by trucker or common carrier will be made to the nearest point reasonably accessible by same, as determined by the driver. Buyer will furnish and pay for any labor and/or equipment required for unloading the transport(s).
8. Seller shall not be responsible for delays in shipment caused by Acts of God, Strikes, Labor Disturbances, Accidents, Fire, Shortages of Labor, Materials or Transportation, Governmental Restrictions, Laws or Regulations, Delays in Transportation, or other Conditions of Delay, which are beyond the control of the Seller. Seller shall not be responsible for any backcharges or liquidated damages caused by delays in shipment/shipping.
9. Buyer shall accept delivery as per the date set at the original agreement. If delivery of the unit is postponed at the request of the Buyer, interest at the maximum legal rate per month, dictated by the State in which the sale is made and on the full purchase price, plus storage charges will be added to the agree purchase price.
10. This order is not subject to cancellation by the Buyer, except prior to shipment, and then only on the payment to the Seller for the cost of labor and materials already performed, plus 10% of the Total Sell Price, as liquidated damages, which the Buyer agrees to pay.
11. Title to all goods sold under this CONTRACT shall remain in the Seller's name until completely paid for and acknowledged as such by the Seller. The goods shall remain strictly personal property, however affixed to realty or fixtures of the Buyer. Buyer shall keep the property insured and free from all liens and encumbrances, pay all taxes thereon, make good all loss, damage, or deterioration, and take steps necessary to preserve the Seller's title, including the execution and filing or otherwise recording of all instruments necessary for such purpose. Seller shall have, and in the event of default in the terms hereof, may exercise excessively and not in the alternative, all rights and remedies provided by the applicable laws and jurisdiction relative to conditional sales, and if expressedly herein and so provided, and, insofar as permitted by such laws, may declare all sums immediately due and payable and take possession of the property or any part thereof wherever found, and may sell same at public or private sale on such terms as it may deem advisable, giving Buyer ten days written notice of the time and place of said sale. In the event of non-payment of this contract within the stated terms, Seller shall have the right to re-posses any and all equipment sold under this CONTRACT and shall charge the Buyer with any excess expense involved in such a transaction.
12. The Seller does not assume any responsibility or liability with respect to use, purpose, or suitability of this equipment, and shall not be liable for damages of any character, whether direct or consequential, caused by defect in equipment, delay in transit, or otherwise. Seller's sole liability and obligation being confined to the replacement of defectively manufactured guaranteed parts, failing within the warranty time set by the Seller's standard warranty (12 months after start-up or 15 months from shipment from Seller's factory). No representation is made that any equipment manufactured or sold by Dakota Pump Inc. does or does not meet existing State or Federal OSHA Standards.
13. Since this agreement is closed upon acceptance by an Authorized Representative of the Seller's home office in Mitchell, South Dakota, it is understood by all parties that the laws of the State of South Dakota will govern the contract. Any legal remedies sought by either Buyer or Seller, shall take place in a South Dakota Court.

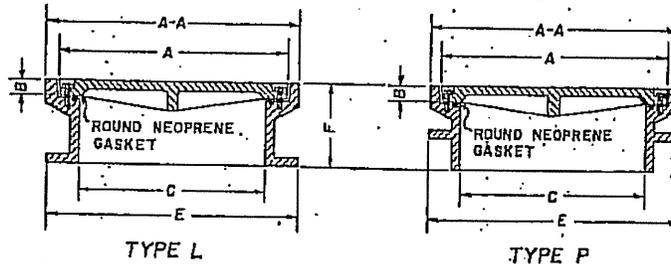
R-6668 To R-6669 Series Heavy Duty Square and Rectangular Pressure Type Manhole Frames and Solid Lids

Bolted Lids Sealed with Neoprene Gasket for Slab or Built-up Manholes

Manhole covers of this series are for use on built-up manholes or slab construction in either regular or seal type design. Suitable for use on pressure manholes, or as water-resistant electrical junction boxes on bridges, etc. Lids are bolted to frames with countersunk stainless steel hex head cap screws and sealed with neoprene gaskets. Concealed pickholes (see page 307) are included for complete water-resistant application.

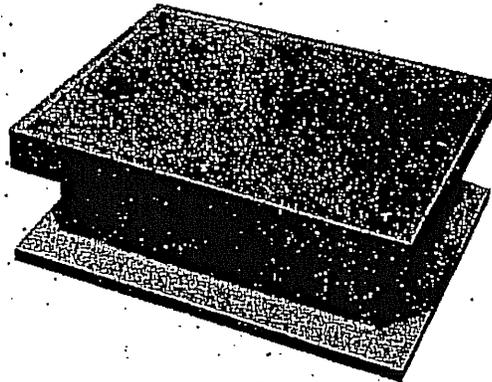
Units are shipped assembled with gasket glued to frame.

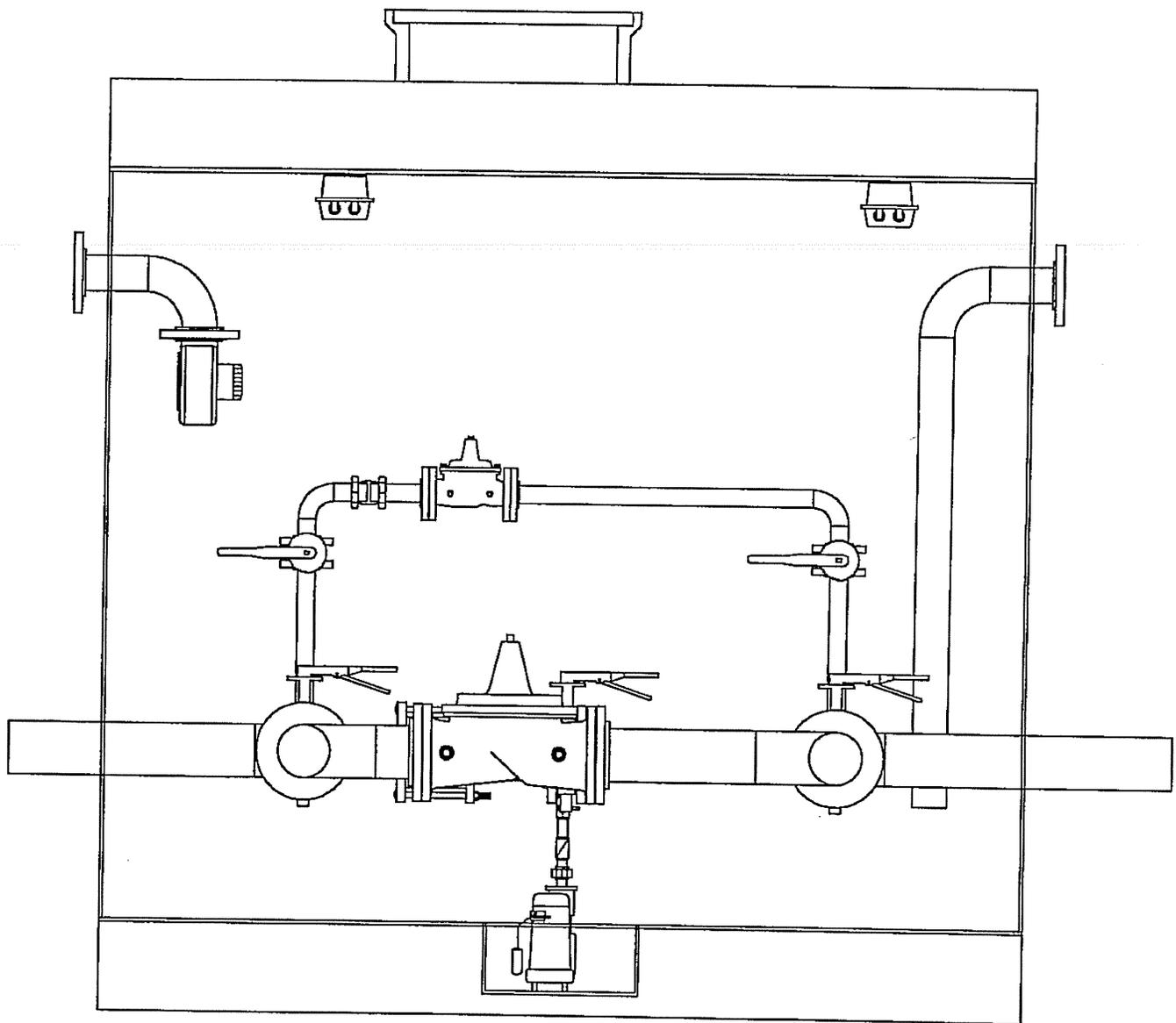
Catalog Type L	Catalog No. Type P	Dimensions in inches						No. of Bolts
		A	AA	B	C	E	F	
Square - Heavy Duty								
R-6668 - L1	R-6668 - P1	15 ³ / ₄ x 15 ³ / ₄	17 ¹ / ₂ x 17 ¹ / ₂	1 ¹ / ₂	12 x 12	18 x 18	8	4
R-6668 - L3	R-6668 - P3	21 ³ / ₄ x 21 ³ / ₄	23 ¹ / ₂ x 23 ¹ / ₂	1 ¹ / ₂	18 x 18	24 x 24	8	4
R-6668 - L6	R-6668 - P6	27 ⁵ / ₈ x 27 ⁵ / ₈	29 ¹ / ₂ x 29 ¹ / ₂	1 ¹ / ₂	24 x 24	30 x 30	8	8
Rectangular - Heavy Duty								
R-6669 - L1	-	15 ³ / ₄ x 21 ³ / ₄	17 ¹ / ₂ x 23 ¹ / ₂	1 ¹ / ₂	12 x 18	18 x 24	8	6
R-6669 - L3	R-6669 - P3	21 ³ / ₄ x 27 ³ / ₄	23 ¹ / ₂ x 29 ¹ / ₂	1 ¹ / ₂	18 x 24	24 x 30	8	8
R-6669 - L10	R-6669 - P10	33 ³ / ₄ x 51 ³ / ₄	35 ¹ / ₂ x 53 ¹ / ₂	1 ¹ / ₂	30 x 48	36 x 54	8	16



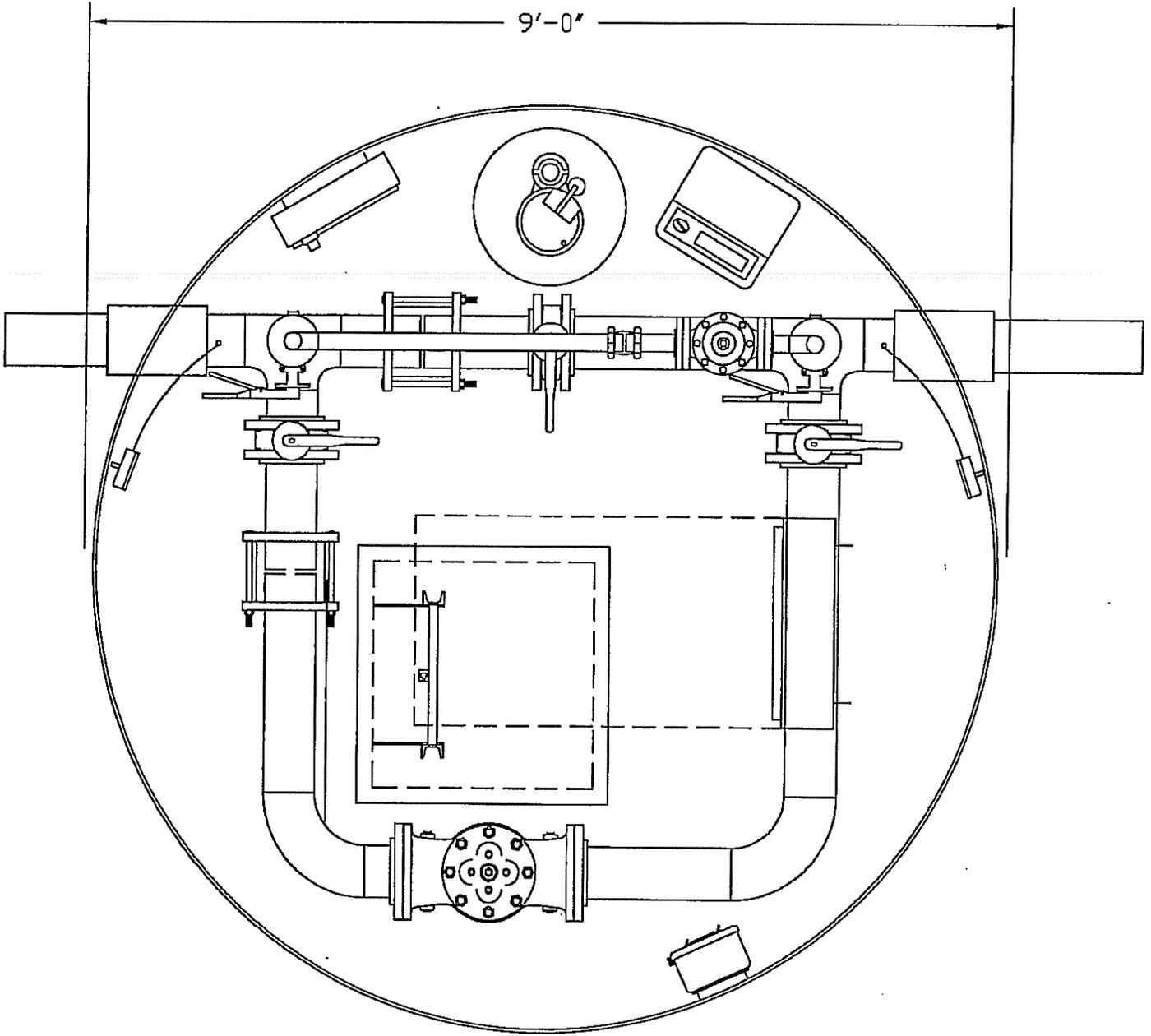
Built-up or Slab

Seal Type





9'-0"



CITY OF INVER GROVE HEIGHTS

REQUEST FOR COUNCIL ACTION

Meeting Date: July 28, 2008
 Item Type: Consent
 Contact: Lt. Larry Stanger (651) 450-2528
 Prepared by: Lt. Larry Stanger
 Department of Public Safety
 Reviewed by: Chief Charles Kleckner
 Director of Public Safety

Fiscal/FTE Impact:	
<input checked="" type="checkbox"/>	None
<input type="checkbox"/>	Amount included in current budget
<input type="checkbox"/>	Budget amendment requested
<input type="checkbox"/>	FTE included in current complement
<input type="checkbox"/>	New FTE requested – N/A
<input type="checkbox"/>	Other

PURPOSE/ACTION REQUESTED:

Consider request to enter into a Joint Powers Agreement with the City of St. Paul for the Republican National Convention (RNC).

SUMMARY:

During the past year the City of St. Paul has been and continues to plan and prepare for the RNC, which will occur between the dates of September 1, 2008 and September 4, 2008. The St. Paul Police Department recognizes that they do not have adequate law enforcement resources to staff all of the RNC functions and events; as such they have been working with other law enforcement agencies to assemble the required resources.

Because of this planned event, additional law enforcement resources are obtained through a JPA rather than a mutual aid agreement. The main differences between these two types of agreements are:

- | | |
|---|--|
| <u>Mutual Aid</u> | <u>JPA</u> |
| <ul style="list-style-type: none"> • Emergency, unplanned event. • No consideration or request for reimbursement. • Liability is with the requesting agency. | <ul style="list-style-type: none"> • Planned event. • Reimbursement articulated, negotiated. • Liability stays with the participating agency, separate insurance policy sometimes obtained. |

This JPA is lengthy as it articulates types of resources requested; training; how reimbursement will be made; command structure; insurance; etc. In sum, officers sent may be able to keep supplied equipment, are covered under a \$10 million dollar insurance policy, and can be called back to the home agency at anytime. It is the recommendation of the Inver Grove Heights Department of Public Safety to sign the JPA and authorize the police department to participate in the RNC under the requirements outlined in the JPA and with due consideration in maintaining public safety services for the city of Inver Grove Heights.

CITY OF INVER GROVE HEIGHTS

REQUEST FOR COUNCIL ACTION

Meeting Date: July 28, 2008
 Item Type: Consent
 Contact: Lt. Larry Stanger (651) 450-2528
 Prepared by: Lt. Larry Stanger
 Department of Public Safety
 Reviewed by: Chief Charles Kleckner
 Director of Public Safety

Fiscal/FTE Impact:	
<input checked="" type="checkbox"/>	None
<input type="checkbox"/>	Amount included in current budget
<input type="checkbox"/>	Budget amendment requested
<input type="checkbox"/>	FTE included in current complement
<input type="checkbox"/>	New FTE requested – N/A
<input type="checkbox"/>	Other

PURPOSE/ACTION REQUESTED:

Approve resolution authorizing execution of the joint Traffic Safety Project Grant awarded for the period from October 1, 2008 through September 30, 2009.

SUMMARY:

The City of Inver Grove Heights previously, through a resolution, partnered with eleven Dakota County cities to coordinate local law enforcement traffic safety laws. The Dakota County Traffic Safety Group initiated the agreement, acting on behalf of all jurisdictions. The City of Mendota Heights is responsible for all funds received and disbursed. The effort is aimed at targeting geographical areas within the participating jurisdictions, by providing personnel and equipment in quantities that would not be possible on an individual jurisdictional basis. The traffic enforcement partnership became known as the Dakota County Traffic Safety Project (DCTSP).

The DCTSP is again applying for grant funding in the amount of \$76,000. This funding will come from the National Highway Traffic Safety Administration.

In the proposed grant, all participating agencies would be eligible for reimbursement for overtime expenditures for 24 enforcement actions between October 1 2008 and September 30 2009. These expenditures would consist of one officer working six hours per shift. There is no matching funds requirement, but the grant requires the DCTSP to conduct an additional 24 enforcement actions during this period. These events would require one officer per agency working six hours (not overtime) per additional event.

**CITY OF INVER GROVE HEIGHTS
DAKOTA COUNTY, MN**

RESOLUTION NO. _____

**A RESOLUTION AUTHORIZING THE CITY OF INVER GROVE HEIGHTS TO
ENTER INTO A GRANT AGREEMENT WITH THE DAKOTA COUNTY
TRAFFIC SAFETY GROUP**

WHEREAS, the City of Inver Grove Heights desires to participate in the Dakota County Traffic Safety Group Grant Project. Project Dates October 1, 2008 through September 30, 2009, and

WHEREAS, the State of Minnesota requires a resolution of the City Council to participate, and

WHEREAS, the City has entered into previous grants to provide increased traffic enforcement and educational activities, and

WHEREAS, the City has partnered with other Dakota County law enforcement agencies to increase traffic safety in the community, and

WHEREAS, the City will partner the 11 other government entities in Dakota County to increase traffic safety, and

WHEREAS, the City Councilors of the City of Inver Grove Heights have duly considered this matter and believe that it is in the best interests of the City to enter into a grant agreement with the OTS through the DCTSG to provide enhanced traffic enforcement.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF INVER GROVE HEIGHTS: that the proper City officers be and hereby are authorized to execute such agreement and any amendments, and thereby assume for and on behalf of the City all of the contractual obligations contained therein.

Adopted by the City Council of Inver Grove Heights this 28th day of July, 2008.

AYES:

NAYS:

George Tourville, Mayor

ATTEST:

Deputy City Clerk

CITY OF INVER GROVE HEIGHTS

REQUEST FOR COUNCIL ACTION

Consider Approval of an extension for a Variance to construct a garage within the front yard setback for a property located at 4080 Upper 61st Path E., Inver Grove Heights, MN.

Meeting Date: July 28, 2008
 Item Type: Consent
 Contact: Jenn Emmerich; 651.450.2553
 Prepared by: Jenn Emmerich, Assistant City Planner
 Reviewed by:

Fiscal/FTE Impact:	
<input checked="" type="checkbox"/>	None
<input type="checkbox"/>	Amount included in current budget
<input type="checkbox"/>	Budget amendment requested
<input type="checkbox"/>	FTE included in current complement
<input type="checkbox"/>	New FTE requested – N/A
<input type="checkbox"/>	Other

PURPOSE/ACTION REQUESTED: Consider Approval of a request for a one-year extension for a variance to construct a garage within the front yard setback.

SUMMARY

Background On August 28, 2006, City Council approved a variance to construct a garage six feet from the front property line where a 30 foot setback is required. On July 7, 2008, Staff received a request for an extension for the variance as the applicant has not had the opportunity to construct the garage. He is now anticipating commencing construction in the summer of 2009.

RECOMMENDATION

Planning Staff Recommends approval of this one-year variance extension.

Attachments: Approval Resolution
 Letter from Mr. Huisman dated July 7, 2008
 Resolution No. 06-154

**CITY OF INVER GROVE HEIGHTS
DAKOTA COUNTY, MINNESOTA**

RESOLUTION NO. _____

RESOLUTION EXTENDING EXPIRATION DATE OF RESOLUTION NO. 06-154

WHEREAS, an application was approved by the City Council on August 28, 2006 for a variance to construct a garage within the front yard setback for property legally described as:

All of Lots 1 and 2, Block 20, Inver Grove Factory Addition, Dakota County, Minnesota, according to the recorded plat thereof.

WHEREAS, the aforementioned Variance was approved through the adoption of Resolution No. 06-154;

WHEREAS, pursuant to City Code Section 515.40, Subd. 3., a one-year extension to a Variance may be granted if requested within two years of approval;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF INVER GROVE HEIGHTS, that the Variance granted by Resolution No. 06-154 shall hereby be valid for two additional years until December 31, 2008.

BE IT FURTHER RESOLVED that the terms and conditions found in Resolution No. 06-154 shall remain in effect.

Adopted by the City Council of Inver Grove Heights this 26th day of August, 2008.

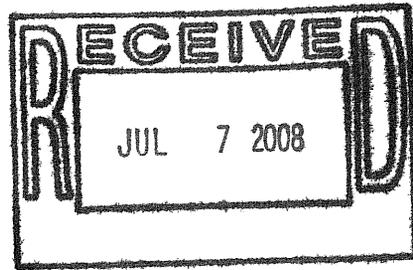
George Tourville, Mayor

.....
Ayes:

Nays:

ATTEST:

Melissa Rheaume, Deputy Clerk



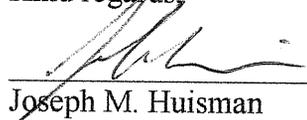
Members of the City Council,

On September 18, 2006 I was approved for a variance to build a garage on my property. The Resolution Number was 06-154. Since then, my financial situation has changed and I have not been able to gather all of the funds necessary to build the garage. We are now expecting a child in the beginning of August of 2008 therefore making my time very limited and I will not be able to complete this project before the two years allowed by the variance has passed.

I would like to request an extension of the variance for at least 1 year so I can begin this project early next summer. This would allow me sufficient time to gather the necessary resources to complete the garage.

Thank you for considering this extension.

Kind regards,



Joseph M. Huisman

7-7-08

Date

**CITY OF INVER GROVE HEIGHTS
DAKOTA COUNTY, MINNESOTA**

RESOLUTION NO. 06-154

**RESOLUTION APPROVING A VARIANCE TO ALLOW CONSTRUCTION OF A NEW
GARAGE SIX (6) FEET FROM THE FRONT PROPERTY LINE**

**CASE NO. 06-47V
(Joseph Huisman)**

Property legally described as follows:

**All of Lots 1 and 2, Block 20, Inver Grove Factory Addition, Dakota County,
Minnesota, according the recorded plat thereof**

WHEREAS, an application has been received for a Variance to allow construction of a new garage six (6) feet from the front property line whereas 30 feet is required.

WHEREAS, the aforescribed property is zoned R-1C, Single Family Residential;

WHEREAS, a Variance may be granted by the City Council from the strict application of the provisions of the Zoning Code (City Code Section 515) and conditions and safeguards imposed in the variance so granted where practical difficulties or particular hardships result from carrying out the strict letter of the regulations of the Zoning Code, as per City Code Section 515.40, Subd. 3A;

WHEREAS, the City of Inver Grove Heights Planning Commission reviewed the request on August 1, 2006 in accordance with City Code Section 515.40, Subd. 3C;

WHEREAS, a hardship was found to exist, not based on economic reasons. Rather, the hardship is based on the lot has topographic limitations restricting the location of a reconstructed garage. The lot drops off heading away from the street creating a garage

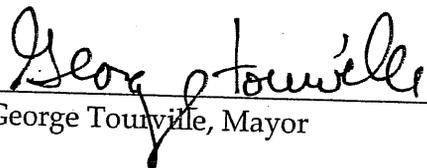
lower that the street which would have an undesirable slope downward from the street for the driveway. Allowing the garage to remain at the established setback would reduce the amount of vegetation needed to be removed for construction. The existing garage setback from the street is not out of character of the neighborhood.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF INVER GROVE HEIGHTS, that a Variance to allow the construction of a new garage six (6) feet from the front property line is hereby approved subject to the following conditions:

1. The applicant must provide an erosion control and restoration plan at the time of the building permit application.
2. The site shall be developed in substantial conformance with the site plan (2 sheets) dated 7/3/06 on file with the Planning Department.
3. A letter from a licensed engineer may be required for approval of the garage building permit.

BE IT FURTHER RESOLVED that the Deputy Clerk is hereby authorized and directed to record a certified copy of this Resolution at the Dakota County Recorder's Office.

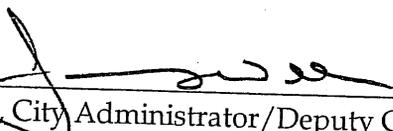
Adopted by the City Council of Inver Grove Heights this 28th day of August, 2006.


George Touville, Mayor

Ayes: 5

Nays: 0

ATTEST:


James Willis, City Administrator/Deputy Clerk

CITY OF INVER GROVE HEIGHTS

REQUEST FOR COUNCIL ACTION

APPROVE PROPOSAL FOR LAND SURVEYING SERVICES

Meeting Date: July 28, 2008
 Item Type: Consent
 Contact: JTeppen, Asst. City Admin.
 Prepared by:
 Reviewed by:

Fiscal/FTE Impact:	
<input type="checkbox"/>	None
<input type="checkbox"/>	Amount included in current budget
<input type="checkbox"/>	Budget amendment requested
<input type="checkbox"/>	FTE included in current complement
<input type="checkbox"/>	New FTE requested – N/A
<input checked="" type="checkbox"/>	Other

PURPOSE/ACTION REQUESTED Approve a proposal for Land Surveying Services with Olsson Associates.

SUMMARY Olsson Associates has submitted a proposal (attached) for land surveying services for a topographical and boundary survey of the property on which City Hall is located. Olsson Associates is the Civil Engineer under contract with BKV Group. The survey will be used to provide information for the proposed Public Safety Addition and City Hall Renovation.

The cost for this survey is \$5,400 and is a cost that is outside of the agreement with the Architect.



July 23, 2008

Jenelle Teppen,
Assistant City Administrator
City of Inver Grove Heights
8150 Barbara Ave
Inver Grove Heights, MN 55077

Re: **PROPOSAL FOR PROFESSIONAL SERVICES**
Inver Grove Heights Public Safety Addition & City Hall Renovation
Inver Grove Heights, MN, "Project"

Dear Ms. Teppen:

Thank you for the opportunity to submit a proposal for professional land surveying services on the proposed Inver Grove Heights Public Safety Addition & City Hall Renovation project. We have based our scope of work on the provided site plan dated April 11th, 2008 and AutoCAD files received from BKV Group. We are currently under contract with BKV Group to provide Civil Engineering services for the site plan on this project; therefore, we are able to exchange base files efficiently. We were requested to provide a surveying services proposal by Ted Redmond of BKV Group and Linda McCracken-Hunt from Studio Five Architects. We look forward to working with the City of Inver Grove Heights on this project.

We have made certain assumptions about the work effort required for the Land Surveying scope of services for this project. These assumptions and clarifications are described on the attached Scope of Work summary (Exhibit A). This exhibit can be used along with our standard letter agreement to form the basis of our contract for professional services with the City of Inver Grove Heights. The following is a summary of our proposal:

Land Surveying Services	
<u>Topographic & Boundary Survey</u>	<u>\$5,400</u>
	\$5,400

Please sign two copies and return one original to Olsson Associates and keep the other one for your records. Please give me a call (952-927-3835) if you have any questions in regards to the proposal.

Sincerely,

Scott C. Trosen, LS

CC: File, Linda McCracken-Hunt

LETTER AGREEMENT FOR
PROFESSIONAL SERVICES

July 23, 2008

Jenelle Teppen,
Assistant City Administrator
City of Inver Grove Heights
8150 Barbara Ave
Inver Grove Heights, MN 55077

Re: **PROPOSAL FOR PROFESSIONAL SERVICES**
Inver Grove Heights Public Safety Addition & City Hall Renovation
Inver Grove Heights, MN, "Project"

Dear Ms. Teppen:

It is our understanding that The City of Inver Grove Heights ("Client") requests Olsson Associates ("Olsson") to perform the following services pursuant to the terms of this Letter Agreement, Olsson's General Provisions and any exhibits attached thereto (hereinafter "the Agreement") for the Project.

1. Olsson has acquainted itself with the information provided by Client relative to the Project and based upon such information offers to provide the services described below for the Project. Client warrants that it is either the legal owner of the property to be improved by this Project or that Client is acting as the duly authorized agent of the legal owner of such property. Client acknowledges that it has reviewed the General Provisions (and any exhibits attached thereto), which are expressly made a part of and incorporated into this Agreement by this reference. In the event of any conflict or inconsistency between this Agreement and the General Provisions regarding the services to be performed by Olsson, the requirements of this Agreement shall take precedence.
2. Olsson shall provide Client all Basic Services for the Project as more specifically described in Exhibit A hereto. Should Client request work not described and included in the above Description of Basic Services, such as Additional Services, Olsson shall invoice Client for such services per attached 2008 MN Rate Schedule for services rendered by our principals and employees engaged directly on the Project including reimbursable expenses, unless otherwise agreed to by both parties. Olsson shall not commence work on Additional Services without Client's prior approval in writing.

Olsson agrees to provide all of its services in a timely, competent and professional manner, in accordance with applicable standards of care, for projects of similar geographic location, quality and scope.

SCHEDULE FOR OLSSON'S SERVICES

3. Unless otherwise agreed, Olsson would expect to begin performing its services under this Agreement promptly upon your signing.
Anticipated completion date is August 15, 2008.
**BKV Group has requested Design Development (DD) to begin immediately.

COMPENSATION

4. Compensation for Olsson's services shall be a fixed fee of Five Thousand Four Hundred Dollars (\$5,400).

These financial arrangements are proposed with the assumption Olsson's bills will be paid promptly and the Project will progress orderly and continuously. Client agrees to pay Olsson the amounts due for services rendered and expenses incurred pursuant to the terms of this Agreement within thirty (30) days after Olsson has provided its invoice for such services. In the event Client disputes any invoice item, Client shall give Olsson written notice of such disputed item within fifteen (15) days after receipt of such invoice and shall pay to Olsson the undisputed portion of the invoice according to the provisions hereof. If Client fails to pay any invoiced amounts when due, interest will accrue on each unpaid amount at the rate of thirteen percent (13%) per annum from the date due until paid according to the provisions of this Agreement. Interest shall not be charged on any disputed invoice item which is finally resolved in Client's favor. Payment of interest shall not excuse or cure any default or delay in payment of amounts due.

TERMS AND CONDITIONS OF SERVICE

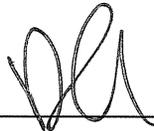
5. We have discussed with you the risks, rewards and benefits of the Project and our fees for services. The risks have been allocated such that the Client agrees that, to the fullest extent permitted by law, Olsson's total liability to the Client for any and all injuries, claims, losses, expenses, damages, or claims expenses of any kind arising from any services provided by or through us under this Agreement, shall not exceed the total amount of Olsson's fees earned under this Agreement. Client acknowledges that such causes include, but are not limited to, Olsson's negligence, errors, omissions, strict liability, breach of contract or breach of warranty.
6. The Agreement represents the entire understanding between Client and Olsson with respect to the Project and may only be modified in writing signed by both parties.
7. If this proposal satisfactorily sets forth your understanding of our agreement, please sign the Letter Agreement in the space provided (indicating Client's designated Project representative if different from the party signing the Agreement). Retain a copy for your files and return an executed original to Olsson. This proposal will be open for acceptance for a period of 15 days from the date set forth above, unless changed by us in writing.

8. By signing below, you acknowledge that you have full authority to bind Client to this agreement.

OLSSON ASSOCIATES

By 

Scott C. Trosen, LS
Surveyor/Project Manager

By 

Brandon S. Anderson, PE
Group Leader

If you are in agreement with the preceding proposal,
please sign:

City of Inver Grove Heights "Client"

By _____

Title _____

Dated: _____

If different from above,

Client's Designated Project Representative

EXHIBIT "A" to GENERAL PROVISIONS ATTACHED TO
LETTER AGREEMENT FOR PROFESSIONAL SERVICES
BETWEEN CLIENT AND OLSSON, DATED JULY 23, 2008

DESCRIPTION OF BASIC PROFESSIONAL SERVICES AND RELATED MATTERS

This is an exhibit attached to and made a part of the General Provisions attached to the Proposed Letter Agreement for Professional Services dated July 23, 2008 between the City of Inver Grove Heights (Client) and Olsson Associates (Olsson) providing for professional services. The Basic Services of Olsson are as indicated below.

GENERAL

Olsson shall perform for Client professional services in all phases of the Project to which this Agreement applies as hereinafter provided. These services will include serving as Client's professional representative for the Project, providing professional consultation and advice and furnishing customary services incidental thereto.

SCOPE OF SERVICES

This Exhibit A has been prepared for the Inver Grove Heights Public Safety Addition and City Hall Renovation Project located in Inver Grove Heights, MN. Olsson has based the scope of work on the provided site plan dated April 11th, 2008 and AutoCAD files received from BKV Group. The following is a summary of the work scope including assumptions and clarifications used to determine our estimated work effort.

Phase 100 – Land Surveying, Lump Sum: \$ 5,400

- **Task 100001 – Boundary & Topographic Survey, Lump Sum: \$5,400**
 - Establish local control and conduct a boundary survey. Additional work due to missing boundary information, boundary line conflicts, discrepancies and/or disputes will be considered an additional service. Written authorization to proceed will be obtained prior to Olsson Associates commencing any additional services.
 - Survey location and elevation of above ground features including buildings, pavement, curbs, sidewalks, trees, water bodies, power lines and other planimetric features critical for design.
 - Boundary Survey will include the entire property, Lot 1, Block 2, Inver Grove Heights Civic Center. Topographic survey area will be limited to approximately 50' beyond the project boundary limits as provided by Olsson Associates and BKV Group.
 - Provide one-foot contour intervals and spot elevations throughout the site.
 - Arrange for Gopher-State-One-Call to field locate utilities. Following their work, OA will field survey their markings. In addition, OA will rely on records from utility companies or the City of Inver Grove Heights for items such as material type and size. No excavation will take place to locate below ground utilities. Please note that Gopher-State-One-Call has up to 3 weeks to mark utilities and/or send maps for non-excavation requests.
 - Upon completion, we will provide three (3) signed paper copies of the survey to the client.

Additional work outside of the scope of the project will be billed hourly according to Olsson Associates 2008 Rate Schedule. (See below for rate schedule).

Olsson Associates MN 2008 Rate Schedule

<u>Description</u>	<u>Billing Rate</u>
Senior Surveyor	143.00
Surveyor	104.00
Associate Surveyor	90.00
Assistant Surveyor	67.00
1-Man Survey Crew w/ GPS	120.00
2-Man Survey Crew w/ GPS	168.00
2-Man Survey Crew	138.00
3-Man Survey Crew	184.00

CITY OF INVER GROVE HEIGHTS

REQUEST FOR COUNCIL ACTION

CONSIDER AUTHORIZING PURCHASE OF WEATHER WARNING SIREN

Meeting Date: July 28, 2008
 Item Type: Consent
 Contact: JTeppen, Asst. City Admin.
 Prepared by:
 Reviewed by:

Fiscal/FTE Impact:	
<input type="checkbox"/>	None
<input checked="" type="checkbox"/>	Amount included in current budget
<input type="checkbox"/>	Budget amendment requested
<input type="checkbox"/>	FTE included in current complement
<input type="checkbox"/>	New FTE requested – N/A
<input type="checkbox"/>	Other

PURPOSE/ACTION REQUESTED Consider authorizing purchase and placement of new weather warning siren at the corner of Alverno Avenue West and Alvarado Trail.

SUMMARY Council approved a budget of \$25,000 for a new weather warning siren in 2008. It was intended to be located at or around Emerald Hills Mobile Home Park.

Staff contacted Nelcom, the local (Dakota County) business that assists cities in placement and installation of weather warning sirens. They examined the area around Emerald Hills, taking into consideration the location of sirens in the area, including those located in Eagan.

They have determined that the best location for a new weather warning siren is at the corner of Alverno Avenue and Alvarado Trail which is in the Marianna Ranch Conservation Easement. The documents that set forth the terms of the easement agreement do not prohibit the City from constructing public utilities here.

We will do a mailing to the area to notify them of the impending activity.

The City received one quote from a local reseller of the product of \$13,000 for the equipment. This is the only provider of these types of weather warning signals in the Midwest. Checking with surrounding communities and the County’s Emergency Preparedness Coordinator – this is the only company providing these types of signals. This signal is compatible with the Dakota Communication Center’s requirements. The installation of the pole, testing and certifying the equipment totals an additional \$10,000.

The total cost for a new weather warning siren at Alverno Ave. and Alvarado Trail is \$25,000.

CITY OF INVER GROVE HEIGHTS

REQUEST FOR COUNCIL ACTION

SCHEDULE PUBLIC HEARING

Meeting Date: July 28, 2008
 Item Type: Consent
 Contact: 651.450.2513
 Prepared by: Melissa Rheume
 Reviewed by: N/A

Fiscal/FTE Impact:

- None
- Amount included in current budget
- Budget amendment requested
- FTE included in current complement
- New FTE requested – N/A
- Other

PURPOSE/ACTION REQUESTED:

Schedule public hearing on August 11, 2008 at 7:30 p.m. to consider the application of Kladek, Inc. for an On-Sale Sunday Intoxicating Liquor License.

SUMMARY:

Larry Kladek has made application for an On-Sale Sunday Intoxicating Liquor License. A public hearing is required to consider approval of the application. The notice of public hearing will be published in the Southwest Review and investigation of the application will be completed by the Public Safety Department.

CITY OF INVER GROVE HEIGHTS

REQUEST FOR COUNCIL ACTION

PERSONNEL ACTIONS

Meeting Date: July 28, 2008
Item Type: Consent
Contact: Jenelle Teppen, Asst. City Admin
Prepared by: Amy Brinkman, H.R. Coordinator
Reviewed by: n/a

Fiscal/FTE Impact:	
<input type="checkbox"/>	None
<input checked="" type="checkbox"/>	Amount included in current budget
<input type="checkbox"/>	Budget amendment requested
<input type="checkbox"/>	FTE included in current complement
<input type="checkbox"/>	New FTE requested – N/A
<input type="checkbox"/>	Other

PURPOSE/ACTION REQUESTED Staff requests that the Council approve the personnel actions listed below:

Please confirm the seasonal/temporary employment of: Leah Kapernick, and Brett Mathison.

Please confirm the seasonal/temporary termination of: Erica Hofner, Ali Marion, and Amy Coury.

CITY OF INVER GROVE HEIGHTS

REQUEST FOR COUNCIL ACTION

Resolution Ordering the Project, Approving Plans and Specifications, and Authorizing Advertisement for Bids for 2008 Pavement Management Program, City Project No. 2008-09G – Cahill Avenue/Brooks Boulevard Mill and Overlay

Meeting Date:	July 28, 2008	Fiscal/FTE Impact:
Item Type:	Public Hearing	None
Contact:	Steve Dodge, 651-450-2541 <i>SWD</i>	Amount included in current budget
Prepared by:	Steve Dodge, Asst. City Engineer	Budget amendment requested
Reviewed by:	Scott D. Thureen, Public Works Director <i>SDT</i>	FTE included in current complement
		New FTE requested – N/A
		X Other: Pavement Management Fund, Assessments

PURPOSE/ACTION REQUESTED

Consider a Resolution Ordering the Project, Approving Plans and Specifications, and Authorizing Advertisement for Bids for 2008 Pavement Management Program, City Project No. 2008-09G – Cahill Avenue/Brooks Boulevard Mill and Overlay.

SUMMARY

The project was initiated by the City's Pavement Management Program (PMP) as approved by the City Council. The bituminous mill and overlay of Cahill Avenue from 200 feet south of Cuneen Trail to Callahan Trail and Brooks Boulevard from Broderick Boulevard to Cahill Avenue will include a full street width 2-inch deep mill, miscellaneous curb replacement, storm casting adjustments, miscellaneous street repair, new pedestrian ramps, 2-inch bituminous overlay, and striping.

A neighborhood information meeting held on July 10, 2008, was attended by the owners of 7 parcels in the project area. An attendance roster is attached. The discussion topics at this meeting included the pavement management program, assessment calculation method (we use the approved PMP funding policy), the process for approving and assessing the project, the need for a mill and overlay at this time, why the City spent funds on patching and the project (public safety and timing issue), how we select the streets to be included in the project, and how we selected which parcels would be assessed. We also received dozens of phone calls concerning the project. The call topics were the same as those discussed at the information meeting; however, mainly focused on the amount of assessment, when to pay, and how to pay.

The total estimated project cost is approximately \$410,000 including legal, engineering, administration, financing, and contingencies. Funding sources include the Pavement Management Fund and special assessments. The special assessment funding was calculated according to the City's assessment policy for a typical local street with a 29-foot wide bituminous mat. Items such as additional street width, striping, corner lot credits, and City land frontage receives 100% funding from the City. After adjusting the amount to be assessed for the City contribution, the estimated assessment amount for the improvements is \$233,112. *Since the preliminary project estimated costs were prepared, we have received notice of a potential shortage of a component used to make some types of bituminous pavement. This might result in higher costs than assumed in the estimates.*

I recommend passage of the resolution Ordering the Project, Approving Plans and Specifications, and Authorizing Advertisement for Bids for the 2008 Pavement Management Program, City Project No. 2008-09G – Cahill Avenue/Brooks Boulevard Mill and Overlay.

SWD/rs

- Attachments: Exhibit 1
 Table 1
 Neighborhood meeting attendance roster
 Resolution

TABLE 1
PRELIMINARY ESTIMATE AND ASSESSMENT ANALYSIS
2008 CAHILL BROOKS MILL AND OVERLAY PROJECT
CITY PROJECT NO. 2008-09G

ITEM NO.	MNDOT NO.	ITEM	UNIT	ESTIMATED QUANTITY	UNIT PRICE	TOTAL ESTIMATED PRICE	Notes	CITY PORTION	NON-CITY PORTION
1	2021.501	MOBILIZATION	LS	1.0	\$ 5,000.00	\$ 5,000.00			\$ 5,000.00
2	2104.501	REMOVE CURB AND GUTTER	LF	1,051	\$ 3.00	\$ 3,153.00			\$ 3,153.00
3	2104.505	REMOVE CONCRETE SIDEWALK	SY	175	\$ 7.00	\$ 1,225.00		\$ 1,225.00	
4	2104.505	REMOVE BITUMINOUS PATH PAVEMENT	SY	85	\$ 7.00	\$ 595.00			\$ 595.00
5	2104.505	REMOVE CONCRETE PAVEMENT	SY	60	\$ 12.00	\$ 720.00			\$ 720.00
6	2105.528	SELECT TOPSOIL BORROW (LV)	CY	539	\$ 20.00	\$ 10,780.00			\$ 10,780.00
7	2232.501	MILL BITUMINOUS SURFACE (2")	LF	22,598	\$ 0.85	\$ 19,208.30		\$ 4,782.87	\$ 14,425.43
8	2350.505	TYPE LV3 CRACK PATCHING ALONG CURB	TON	1,051	\$ 4.00	\$ 4,204.00			\$ 4,204.00
9	2350.505	TYPE MV4 CRACK PATCHING IN MILLED STREET	TON	100	\$ 10.00	\$ 1,000.00		\$ 2,490.00	\$ 1,490.00
10	2350.508	TYPE MV4 WEARING COURSE (B)	TON	2,734	\$ 52.00	\$ 142,168.00		\$ 35,399.83	\$ 106,768.17
11	2350.508	TYPE LV4 BITUMINOUS MIXTURE FOR PATHS (2.5")	SY	.36	\$ 15.00	\$ 5.40		\$ 540.00	\$ 534.60
12	2357.502	BITUMINOUS MATERIAL FOR TACK COAT	GAL	1,808	\$ 2.50	\$ 4,520.00		\$ 1,125.48	\$ 3,394.52
13	2504.602	ADJUST GATE VALVE	EA	5	\$ 150.00	\$ 750.00			\$ 750.00
14	2506.522	ADJUST FRAME & RING CASTING (NEW RINGS)	EA	20	\$ 500.00	\$ 10,000.00			\$ 10,000.00
15	2506.602	GROUT MANHOLE RINGS	EA	5	\$ 150.00	\$ 750.00			\$ 750.00
16	2521.501	4" CONCRETE WALK	SF	685	\$ 3.00	\$ 2,055.00		\$ 2,055.00	
17	2531.501	CONCRETE CURB & GUTTER DESIGN B618	LF	1,051	\$ 15.00	\$ 15,765.00			\$ 15,765.00
18	2531.602	PEDESTRIAN CURB RAMP WITH TRUNCATED DOMES (TYPE SIDEWALK)	EA	17	\$ 500.00	\$ 8,500.00		\$ 8,500.00	
19	2531.602	PEDESTRIAN CURB RAMP WITH TRUNCATED DOMES (TYPE BIKE PATH)	EA	9	\$ 750.00	\$ 6,750.00		\$ 6,750.00	
20	2531.604	6" CONCRETE FLATWORK	SY	50	\$ 30.00	\$ 1,500.00			\$ 1,500.00
21	2531.618	8" CONCRETE VALLEY GUTTER	SF	80	\$ 6.00	\$ 480.00			\$ 480.00
22	2563.602	TRAFFIC CONTROL	LS	1	\$ 1,000.00	\$ 1,000.00			\$ 1,000.00
23	2582.501	PAVEMENT MESSAGE (RIGHT ARROW) LATEX	EA	2	\$ 45.00	\$ 90.00		\$ 90.00	
24	2582.502	LINEAR MARKINGS 4" WIDTH LATEX SOLID WHITE	LF	165	\$ 0.25	\$ 41.25		\$ 41.25	
25	2582.502	LINEAR MARKINGS 9" WIDTH LATEX SOLID WHITE	LF	981	\$ 1.50	\$ 1,471.50		\$ 1,471.50	
26	2582.502	LINEAR MARKING 18" WIDTH LATEX SOLID WHITE	LF	49	\$ 2.00	\$ 98.00		\$ 98.00	
27	2582.502	LINEAR MARKINGS 4" WIDTH LATEX BROKEN WHITE	LF	1100	\$ 0.15	\$ 165.00		\$ 165.00	
28	2582.502	LINEAR MARKINGS 4" LATEX SOLID DOUBLE YELLOW	LF	5256	\$ 0.35	\$ 1,839.60		\$ 1,839.60	
29	2575.505	SODDING TYPE LAWN	SY	4315	\$ 10.00	\$ 43,150.00			\$ 43,150.00
30	SPECIAL	WATER USAGE ALLOWANCE	LS	1	\$ 500.00	\$ 500.00			\$ 500.00
TOTALS:						\$ 297,018.65		\$ 66,573.53	\$ 230,445.12
ROUNDED TOTALS:						\$ 297,020.00		\$ 66,570.00	\$ 230,450.00

Note 1: The costs associated with bituminous widths over 29' are paid by the City (for 41" bit. Road 24.9% City, 75.1% Non-City).

Note 2: City pays 100% of the cost for this item.

CITY COVERS	20%	OF NON-CITY PORTION:
SUBTOTAL CITY PORTION (CONSTRUCTION):		
SUBTOTAL ASSESSED PORTION (CONSTRUCTION):		
LEAF (38%)	\$	112,867.60
SUBTOTAL CITY PORTION:		
SUBTOTAL ASSESSED PORTION:		
CORNER CREDIT:	\$	21,243.60
TOTAL CITY PORTION:		
TOTAL ASSESSED PORTION:		
TOTAL PROJECT:		

CHECKED BY: SWD
 APPROVED BY: SAT

SIGN IN SHEET

file

INFORMATION MEETING

CITY PROJECT NO. 2008-09G

Cahill Avenue/Brooks Blvd. Mill and Overlay

Thursday, July 10, 2008 at 5:00-7:00 p.m.

NAME

ADDRESS

CONTACT INFO.

- 1. James Johnson 8603 Brinkley Ln. phone: 651-330-5193
mobile: N/A
e-mail: N/A
- 2. Dayle Bright 8611 Brinkley Ln phone: 651-552-048
mobile: _____
e-mail: _____
- 3. BOB DAREY 8652 BERNINA PATH phone: 651-455-7332
mobile: _____
e-mail: _____
- 4. Paul Anderson 8761 BAXTER WAY phone: 651 457-2521
mobile: _____
e-mail: _____
- 5. Andy Jones 8800 BRUNSWICK PATH phone: 952.334.2725
mobile: _____
e-mail: _____
- 6. Jordan Baeder 8766 Benson Way phone: _____
mobile: _____
e-mail: _____
- 7. Ellen Chalifant 8709 Bechtel Ave phone: 651-251-4975
mobile: _____
e-mail: _____
- 8. _____ phone: _____
mobile: _____
e-mail: _____
- 9. _____ phone: _____
mobile: _____
e-mail: _____
- 10. _____ phone: _____
mobile: _____
e-mail: _____
- 11. _____ phone: _____
mobile: _____
e-mail: _____

**CITY OF INVER GROVE HEIGHTS
DAKOTA COUNTY, MINNESOTA**

RESOLUTION ORDERING IMPROVEMENTS, APPROVING THE PLANS AND SPECIFICATIONS, AND AUTHORIZING ADVERTISEMENT FOR BIDS FOR 2008 PAVEMENT MANAGEMENT PROGRAM, CITY PROJECT NO. 2008-09G – CAHILL AVENUE/BROOKS BOULEVARD MILL AND OVERLAY

RESOLUTION NO. _____

WHEREAS, a resolution passed by the City Council on the 23rd day of June 2008 called for a public hearing on the proposed improvement project, 2008 Pavement Management Program, City Project No. 2008-09G – Cahill Avenue/Brooks Boulevard Mill and Overlay; and

WHEREAS, published notice was given pursuant to Minnesota Statute 429.031, and the hearing was held thereon on the 28th day of July 2008, at which time all persons desiring to be heard were given an opportunity to be heard thereon; and

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF INVER GROVE HEIGHTS, MINNESOTA THAT:

1. Such improvement is hereby ordered as proposed in this Council resolution adopted July 28, 2008.
2. The plans and specifications of City Project No. 2008-09G are hereby approved.
3. The City Engineer is hereby authorized to advertise for bids with respect to City Project No. 2008-09G.
4. The contract for these improvements shall be let no later than two years after the adoption of this resolution.

Adopted by the City Council of Inver Grove Heights this 28th day of July 2008.

AYES:

NAYS:

George Tourville, Mayor

ATTEST:

Melissa Rheaume, Deputy Clerk

CITY OF INVER GROVE HEIGHTS

REQUEST FOR COUNCIL ACTION

Resolution Ordering City Project No. 2009-01 – TH 3 and proposed 80th Street/Amana Trail (CSAH 28) Intersection Improvements

Meeting Date: July 28, 2008
 Item Type: Public Hearing
 Contact: Scott D. Thureen, 651.450.2571
 Prepared by: Scott D. Thureen, Public Works Director
 Reviewed by: *SDT*

<input type="checkbox"/>	Fiscal/FTE Impact:
<input type="checkbox"/>	None
<input type="checkbox"/>	Amount included in current budget
<input type="checkbox"/>	Budget amendment requested
<input type="checkbox"/>	FTE included in current complement
<input type="checkbox"/>	New FTE requested – N/A
<input checked="" type="checkbox"/>	Other: Special Assessments, State Aid Funds

PURPOSE/ACTION REQUESTED

Consider resolution ordering City Project No. 2009-01 – TH 3 and proposed 80th Street/Amana Trail (CSAH 28) Intersection Improvements.

SUMMARY

The Argenta Hills development agreement includes a requirement for the City to construct intersection control improvements at TH 3 and Amana Trail (future CSAH 28), by July 15, 2009. On June 23, 2008, the Council received the feasibility report for the project and scheduled a public hearing for July 28, 2008. On July 14, 2008, the Council approved a contract for preparation of the plans and specifications to keep the project on schedule. The public hearing is for the purpose of ordering the project as an improvement under MS Chapter 429 so special assessment can be used for funding.

An information meeting for the project was held on July 22, 2008. Two property owners attended. Discussion topics included questions concerning the design of the roundabout, proposed assessments and the future alignment of CSAH 28 to the east of TH 3.

A representative from WSB and Associates, Inc. will give a presentation at the public hearing.

I recommend adopting the resolution ordering City Project No. 2009-01.

SDT/rs
Attachment: Resolution

**CITY OF INVER GROVE HEIGHTS
DAKOTA COUNTY, MINNESOTA**

**RESOLUTION ORDERING IMPROVEMENTS FOR CITY PROJECT NO. 2009-01 TRUNK HIGHWAY
3 AND PROPOSED 80TH STREET/AMANA TRAIL (CSAH 28) INTERSECTION
IMPROVEMENTS**

RESOLUTION NO. _____

WHEREAS, a resolution passed by the City Council on the 23rd day of June 2008 called for a Council hearing on the proposed improvement project, City Project No.2009-01 Trunk Highway 3 and proposed 80th Street/Amana Trail (CSAH 28) Intersection Improvements; and

WHEREAS, published notice was given pursuant to Minnesota Statute 429.031, and the hearing was held thereon on the 28th day of July 2008, at which time all persons desiring to be heard were given an opportunity to be heard thereon; and

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF INVER GROVE HEIGHTS, MINNESOTA THAT:

1. Such improvement is hereby ordered as proposed in this Council resolution adopted July 28, 2008.
2. The contract for these improvements shall be let no later than two years after the adoption of this resolution

Adopted by the City Council of Inver Grove Heights this 28th day of July 2008.

AYES:

NAYS:

George Tourville, Mayor

ATTEST:

Melissa Rheaume, Deputy Clerk

CITY OF INVER GROVE HEIGHTS

REQUEST FOR COUNCIL ACTION

GRASS/NOTCH – CASE NO. 08-22VA: vacation of a public trail easement

Meeting Date: July 28, 2008

Item Type: Regular Agenda

Contact: Heather Botten 651.450.2569

Prepared by:  Heather Botten, Associate Planner
Eric Carlson, Park and Rec Dir.

Reviewed by: Planning
Park and Rec

Fiscal/FTE Impact:

- None
- Amount included in current budget
- Budget amendment requested
- FTE included in current complement
- New FTE requested – N/A
- Other

PURPOSE/ACTION REQUESTED

Consider adoption of a resolution relating to an **easement vacation** to vacate a dedicated public trail easement between 10887 and 10883 Andes Circle.

- Require's a 3/5th's vote.
- 60-day deadline: June 20, 2008 (first 60-days)

SUMMARY

The applicants are requesting to vacate a 20 foot wide public trail easement that is located along their common property line. The easement was created at the time of the plat of Southern Lakes 4th Addition to provide access to the public park and trail-way system. On June 9, 2008 the City Council directed staff to work with the two residents living at 10887 and 10883 Andes Circle. The direction included the development of “options” the Council had with regards to the public trail easement.

As a part of a survey staff sent to the Southern Lakes subdivision, the following question was asked:

	Yes	No
I would like to see the City of Inver Grove Heights construct a trail connection from Andes Circle to the north\south trail.	93	16

On Wednesday, June 25th staff met with the homeowners, Grass\Notch, and developed the following options:

Option A

Not to construct a trail and to vacate the existing public trail easement between 10887 and 10883 Andes Circle. Under this option the public would not have access to the north\south trail from the development.

This option is preferred by the two homeowners, Grass\Notch.

Option B

Not to construct a trail and not to vacate the existing public trail easement between 10887 and 10883 Andes Circle. Under this option the public would still have the ability to access the north\south trail even though the trail easement hasn't been improved.

This option is acceptable to the two homeowners, Grass\Notch.

Option C

Construct a 5' concrete sidewalk from Andes Circle to the rear property line within the 20' public trail easement. Under this option the City would hire a contractor to install any necessary retaining walls, concrete sidewalk and provide for restoration. Each homeowner would receive a \$5,000 privacy allowance from the City so that they could install fence/landscaping that meets their personal satisfaction within the requirements of the City. The City would make any necessary irrigation adjustments (we need to move one sprinkler head) and allow the homeowners to construct their privacy improvements adjacent to the sidewalk. Under this option the public would have access to the north\south trail.

A connection to the north\south trail would be constructed as well. The material for this trail connection would be the same as the north\south trail.

The estimated cost for this option is as follows:

Retaining walls	\$20,000
Sidewalk installation	\$6,000
Privacy Allowance	\$10,000
Miscellaneous	\$4,000
Total	\$40,000

This option is not desired by the homeowners; but if it is adopted, the proposed plan is acceptable to the two homeowners, Grass\Notch.

The anticipated schedule would be as follows:

Receive Quotes	August 11, 2008
City Council Approve Quotes	August 25, 2008
Construction Complete	October 2008

Planning and Park and Recreation Division. Recommends denial of the vacation and approval of Option C, construction of a 5' concrete trail between the two homes.

Planning Commission. Also recommended denial of the vacation at their May 20, 2008 meeting (6-2).

Park and Rec Commission. Recommended approval of the vacation at their May 14, 2008 meeting (5-3). At the July 9, 2008 meeting the Park and Rec Commission reviewed the options listed above and is now recommending Option B, which is to not construct the trail and not to vacate the easement (7-0). The Park and Rec Commission also stated that they wanted to see the City construct a trail along Cliff Road to the first entrance to the Southern Lakes subdivision.

Attachments: City Council Memo dated June 9, 2008
Planning Commission minutes – May 20, 2008
E-mails received from residents
Petition submitted from the applicant
Additional pictures submitted from the applicant
Planning Report

CITY OF INVER GROVE HEIGHTS

REQUEST FOR COUNCIL ACTION

GRASS/NOTCH – CASE NO. 08-22VA: vacation of a public trail easement

Meeting Date: June 9, 2008
 Item Type: Regular Agenda
 Contact: Heather Botten 651.450.2569
 Prepared by:  Heather Botten, Associate Planner
 Reviewed by:  Planning
 Park and Rec

Fiscal/FTE Impact:

- | | |
|-------------------------------------|------------------------------------|
| <input checked="" type="checkbox"/> | None |
| <input type="checkbox"/> | Amount included in current budget |
| <input type="checkbox"/> | Budget amendment requested |
| <input type="checkbox"/> | FTE included in current complement |
| <input type="checkbox"/> | New FTE requested – N/A |
| <input type="checkbox"/> | Other |

PURPOSE/ACTION REQUESTED

Consider adoption of a resolution relating to an **easement vacation** to vacate a dedicated public trail easement between 10887 and 10883 Andes Circle.

- Require's a 3/5th's vote.
- 60-day deadline: June 20, 2008 (first 60-days)

SUMMARY

The applicants are requesting to vacate a 20 foot wide public trail easement that is located along their common property line. The easement was created at the time of the plat of Southern Lakes 4th Addition to provide access to the public park and trail-way system. Currently the easement is unimproved. The City may want to construct a trail in the future, therefore the vacation of the easement is not recommended by staff. Staff would be in support of the property owners entering into an Easement Encroachment Agreement that would allow the property owners to make private improvements within the easement and if the City decides to improve the trail the removal of the improvements would be at the owners expense.

There was some discussion at the Planning Commission meeting on if the public could access the easement even though there is not an improved trail. Staff followed up with the City Attorney's office and confirmed that the recorded easement agreement does give the public the right to utilize the trail easement area even though it is unimproved.

Planning and Park and Recreation Division. Recommend denial of the request as presented.

Planning Commission. Also recommended denial of the vacation at their May 20, 2008 meeting (6-2).

Park and Rec Commission. Recommended approval of the vacation at their May 14, 2008 meeting (5-3).

- Attachments: Vacation Denial Resolution
 Planning Commission minutes
 E-mails received from residents
 Petition submitted from the applicant
 Additional pictures submitted from the applicant
 Planning Report

**CITY OF INVER GROVE HEIGHTS
DAKOTA COUNTY, MINNESOTA**

RESOLUTION NO. ____

**RESOLUTION DENYING THE REQUEST TO VACATE A 20' WIDE TRAIL EASEMENT LOCATED
BETWEEN 10887 AND 10883 ANDES CIRCLE**

CASE NO.08-22VAC

Property legally described as follows:

The northeasterly 10 feet of Lot 26 and the southwesterly 10 feet of Lot 27, Block 2, Southern Lakes 4th Addition, according to the recorded plat, Dakota County, Minnesota

WHEREAS, an application has been received for the vacation of a public trail easement that is located along the common property line of 10887 and 10883 Andes Circle;

WHEREAS, the easement was created at the time of the plat of Southern Lakes 4th Addition to provide access to the public trail system;

WHEREAS, a notice of hearing on said petition has been duly published and posted in accordance with the applicable Minnesota Statutes, and

WHEREAS, a public hearing was held on said petition on May 20, 2008, at the Council Chambers, 8150 Barbara Avenue, and

WHEREAS, the Planning Commission then proceeded to hear all persons interested in said petition and all persons interested were afforded an opportunity to present their views and objections to the granting of said petition, and

WHEREAS, the City Council of Inver Grove Heights has determined that the vacation of said easement would not be in the public interest.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF INVER GROVE HEIGHTS, that the Vacation of a public trail easement is hereby denied based on the following findings of fact:

1. The dedicated public trail easement was planned to provide access to the public park and trail-way and is part of the trail system with the Southern Lakes plat.
2. Obtaining a "new" easement in the future would be nearly impossible and costly as the City would be required to pay for a future trail easement.

BE IT FURTHER RESOLVED that the Deputy Clerk is hereby authorized and directed to record a certified copy of this Resolution at the Dakota County Recorder's Office.

Adopted by the City Council of Inver Grove Heights this 9th day of June 2008.

George Tourville, Mayor

Ayes:

Nays:

ATTEST:

Melissa Rheaume, Deputy Clerk

**RECOMMENDATION TO
CITY OF INVER GROVE HEIGHTS**

TO: Mayor and City Council of Inver Grove Heights
FROM: Planning Commission
DATE: May 20, 2008
SUBJECT: **GRASS/NOTCH – CASE NO. 08-22VA**

Reading of Notice

Commissioner Simon read the public hearing notice to consider the request for an easement vacation to vacate a dedicated trail easement between two properties on Andes Circle for the property located at 10883 and 10887 Andes Circle. 246 notices were mailed.

Presentation of Request

Heather Botten, Associate Planner, explained the request as detailed in the report. Ms. Botten advised that staff mailed notices to everyone in the Southern Lakes neighborhood as they felt this request could possibly impact the entire neighborhood rather than just the abutting property owners. Ms. Botten advised that the applicants are requesting to vacate a 20 foot wide dedicated public trail easement located along their common property line; a ten foot easement is located on each property. The easement was created at the time of the platting of Southern Lakes to provide access to the public park and trail system. Currently the trail is unimproved. Based on the fact that the City may want to construct a trail in the future, the vacation of the easement is not recommended by staff. Staff would be in support, however, of the property owners entering into an easement encroachment agreement that would allow the property owners to make private improvements within the easement but would require that the owners remove those private improvements in the easement at the owners expense should the City decide to construct a trail at some future date. Ms. Botten advised that the Park and Recreation Commission reviewed the request on May 14 and recommended that the easement be vacated on a vote of 5/3. Ms. Botten advised that staff received a few phone calls regarding the request. She stated the majority of the callers were impartial to the vacation, however they did receive a call from one citizen who was opposed to the vacation. That caller advised that there was a sign in place at one time designating the area as the location of a future trail. The caller recommended that sign be restored. Ms. Botten added that nine e-mails were also received late this afternoon which were all opposed to the vacation. She clarified that the request was only for the vacation of an easement and not for actual improvements to the trail. Staff recommends denial of the vacation request.

Commissioner Roberts asked if the easement was in place before the two subject homes were built, to which Ms. Botten replied in the affirmative.

Commissioner Roberts asked if the easement could be used by the neighborhood at this time in its unimproved state.

Ms. Botten stated she believed the neighbors had the right to use the dedicated easement, but likely did not as the e-mails indicated people were not aware of the dedicated trail easement.

Commissioner Roberts suggested that the trail boundaries be marked with signage.

Commissioner Simon asked if there was an existing trail to Cliff Road, to which Ms. Botten replied in the affirmative, stating it was an unimproved gravel trail.

Commissioner Simon asked what the existing trail to the north was constructed of, to which someone from the audience advised it was made of wood chips.

Commissioner Gooch stated the entire neighborhood would benefit from this additional trail segment.

Ms. Botten stated the Director of Parks and Recreation indicated it was not in the current park plan to improve that portion of the trail, but that he would like to retain the easement in case the City would like to improve it in the future. She added that staff is recommending the homeowners be able to enter into an encroachment agreement that would give them permission to put up a fence.

Commissioner Roberts stated he would be opposed to such an encroachment agreement.

Commissioner Hark asked if the City had experience with similar encroachment agreements, and asked what would happen if the applicants put up a fence and the City later decided to improve the trail segment.

Ms. Botten stated she was not aware of a similar situation, but stated that the encroachment agreement would require that the improvement be removed at the owner's expense.

Mr. Hunting stated he was not aware of any issues with encroachment agreements, but advised that any encroachments into easements would have been dealt with by the City's engineering department rather than the planning department.

Commissioner Hark suggested that language be added to require that any attorney fees be paid for by the applicant if they chose to challenge the encroachment agreement.

Chair Bartholomew asked if the property owners would be required to meet any setbacks from the easement for any improvements.

Ms. Botten stated that currently the homeowners could build right up to the easement line (10 feet on either side of the property line) but that an encroachment agreement would allow them to install a fence up to the property line.

Commissioner Gooch asked if the Southern Lakes Homeowners Association took a position on this issue.

Ms. Botten stated she was aware only of general discussion but no formal recommendation.

Commissioner Gooch asked about a meeting referenced in a letter that supposedly took place between the City and the Southern Lakes Association.

Tom Link, Director of Community Development, stated they may have been referring to a

meeting in which a neighborhood ice rink was being discussed.

Opening of Public Hearing

The applicant, Jeff Notch, 10883 Andes Circle, stated that the survey he was given when he built his home did not show the trail easement, and that he would have positioned his home differently had he known it existed. Mr. Notch stated there was a sign indicating the area was the location of a future trail, but that it was there for only a short time and he was not sure why it was removed. He advised that what prompted this request was that Ms. Grass's request for approval from the homeowners association to put in a fence. Ms. Grass was advised she could not build within the easement as the association was considering completing that section of path. He and Ms. Grass then attended the Park and Recreation Commission to state their case. Mr. Notch stated he was concerned about the maintenance of a wood chip path due to the slope in that area, was opposed to a bituminous path, felt this was a poor location for a trail, was concerned that this segment would become a direct link between their properties and Cliff Road, felt it would be a detriment to his privacy and property value, and had safety concerns about children walking through that small pie-shaped area with limited visibility while vehicles were being backed out of the driveway. Mr. Notch said there were only two other similar situations he was aware of in the city where a park trail was situated between two homes.

Chair Bartholomew asked the applicant if he would be interested in signing an encroachment agreement.

Mr. Notch stated an encroachment agreement would make it more difficult for them to sell their homes in the future, and it would discourage them from adding any improvements as it would be too costly to risk having to remove them in the future.

Commissioner Roberts asked who currently owned and maintained the easement property.

Mr. Hunting advised that the homeowners owned and maintained the property. However, if the path was eventually improved it would then be the City's responsibility to maintain it.

Commissioner Hark asked when the sign was installed designating the area as a future path, to which Mr. Notch replied it was installed after he had built his home.

Chair Bartholomew asked when the easement was put in place, to which Mr. Hunting replied at the same time the plat was recorded.

Commissioner Schaeffer asked if the existing trail terminated behind the applicant's property, to which Mr. Notch replied that it continued on to the shoulder of Cliff Road.

Commissioner Schaeffer asked how the families in his circle currently accessed the trail.

Mr. Notch replied that the neighbors in his immediate circle accessed the trail by going through the field in the rear of their homes to the trail. He stated that people very rarely tried to walk through his yard.

Martin Rock, 10624 Alison Way, stated he supported the future trail, felt it would be a safer alternative than Cliff Road, and noted that the easement was granted at the time of purchase.

He added that vacating this easement would limit the neighborhood to only one access to the trail. Mr. Rock advised that a natural preserve was not shown on the deed of his own property, however he adhered to the restrictions for that area and felt the applicants should as well. Mr. Rock recommended that a sign be installed to indicate the location of the trail easement, and stated that his wife had tried to use the path and had been reprimanded by the homeowners.

Commissioner Simon asked if a sidewalk or trail along Cliff Road was planned as part of the future expansion of Cliff Road.

Mr. Hunting stated he was unsure if the County had gotten that far in their planning as the project was still several years out.

The applicant, Cecelia Grass, 10887 Andes Circle, requested that the easement be vacated as she was opposed to having a path between her home and her neighbors. She stated what precipitated this request was her desire to put up a fence for the safety of herself and her dogs. Ms. Grass stated many people walk down the path with their dogs off leashes and in fact her dog was previously attacked. She stated many older children use this path as well and congregate along the trail late at night. Ms. Grass stated that the fence she plans to install is quite costly and it would cost her \$5,000 to have it removed should she sign the encroachment agreement, build in the easement, and then later be required to take it down. She advised that the homeowners association has approved her fence but advised she would have to install it three feet from the easement line, resulting in the fence being 13 feet into her yard. Ms. Grass stated such an arrangement would look ridiculous and would make it difficult to sell her home. Ms. Grass stated she installed a sprinkler in that same easement four years ago, got a permit through the City, and nothing was mentioned about the easement at that time. Ms. Grass advised that she received a letter from the Director of Parks and Recreation stating that the City did not plan to pursue a path down Andes Circle.

Chair Bartholomew asked for clarification on whether or not the homeowner could put their fence right up to the easement line.

Ms. Botten advised that the City would allow the homeowner to put the fence right up to the easement line but she was unsure if the association required an extra three feet.

Commissioner Hark asked Ms. Grass if she was aware of the trail easement when she purchased her home, to which she replied in the affirmative. Ms. Grass advised that she was told it would be only three feet wide however, and therefore pursued enhancement of her property assuming a three foot wide path. She added that at the May 14 Park and Recreation Commission meeting there seemed to be no consistency in the proposed path width.

Joann Murphy, 10595 Alison Way, stated she was opposed to the vacation and would actually like the trail to be enhanced. She stated the path would be a safe access to the trail from both city streets and Cliff Road.

Eric Wiste, 10753 Amherst Way, stated he opposed the vacation and felt it would be advantageous to have this loop through the neighborhood rather than having a dead end trail. He stated also that putting in a trail at this location would be no more of a safety issue than the children that regularly play in the street throughout the neighborhood.

Mr. Notch asked for clarification of whether or not the public was allowed to use the easement while it was unimproved. He advised that the Director of Park and Recreation had advised him they were not.

Ms. Botten stated she was under the impression that people could access the unimproved trail because of the easement agreement, but that she would verify that with the city attorney.

Commissioner Roberts recommended that the city attorney draft a letter to Mr. Notch clarifying the issue for both the applicant and the city.

Commissioner Simon suggested perhaps advising the other homeowners in the neighborhood as well.

Mr. Hunting stated that would be at the city attorney's discretion.

Mr. Wiste requested that if a notice to all homeowners was not possible, that the city at least notify the association so they could include the information in a newsletter.

Mr. Rock stated the public was granted access at one time with the presence of the sign.

At Commissioner Schaeffer's request, Ms. Grass illustrated to the Commission where she would like to locate her fence.

Planning Commission Discussion

Chair Bartholomew asked Ms. Botten to get clarification from the city attorney in regards to where the fence would need to be located in relation to the easement line.

Mr. Hunting stated he was unsure of the private covenants for Southern Lakes in relation to this issue, but that the city would allow the applicants to place the fence right up to the easement line.

Commissioner Roberts questioned whether the city had the ability to act on this since it was something that was written in the covenants.

Ms. Botten advised that the trail easement was a public easement and therefore managed by the city rather than the homeowners association.

Commissioner Roberts asked that it be put on record that the city received several e-mails from property owners opposed to the vacation. He stated before he could support a vacation he needed clarification on whether or not the public was allowed to use the unimproved path, and suggested that a sign be installed if it was usable at this time.

Commissioner Hark advised he was opposed to the vacation of the easement, stating it was in place when the homeowners purchased their property.

Commissioner Gooch suggested that the Director of Parks and Recreation meet with the homeowners association to determine whether or not this connection was valuable and should

be completed.

Commissioner Koch stated she would support the vacation of the easement as it seemed things had changed since the plat was recorded and it now seemed unlikely they would develop the trail. She stated that apparently the neighbors have been able to access the trail all these years without this particular access.

Commissioner Schaeffer stated he would be voting against the vacation since the neighborhood was designed to include this access and more people would likely utilize the trail if it was improved. He added that in his opinion installing the fence 13 feet back from the property line would still allow Ms. Grass an adequate back yard area.

Commissioner Gooch suggested that the homeowners association allow the applicant to build the fence right up to the easement line as it did not make sense to have a three foot area between the fence and the easement.

Commissioner Simon advised she supported the vacation, stating that Cliff Road would likely be more usable in the future.

Planning Commissioner Recommendation

Motion by Commissioner Simon, second by Commissioner Koch, to approve the request to vacate a dedicated trail easement between 10887 and 10883 Andes Circle.

Motion failed (2/6 – Roberts, Wippermann, Schaeffer, Gooch, Bartholomew, Hark).

Motion by Commissioner Roberts, second by Commissioner Wippermann, to deny the request to vacate a dedicated trail easement between 10887 and 10883 Andes Circle.

Motion carried (6/2 – Simon, Koch). This matter goes to City Council on June 9, 2008.

Allan Hunting

From: Kirsten.Langstraat@cancer.org
Sent: Tuesday, May 20, 2008 3:39 PM
To: Allan Hunting
Subject: Southern Lakes Trail

Dear Allan Hunting,

I am a resident and property owner in the Southern Lakes neighborhood and would like to express my concerns about the proposed easement vacation on Andes circle. Many of us in this neighborhood have easements in our yards and were aware of them when we purchased our lots/homes.

As a family we use the trail to run/walk on and would love to see the path be brought back into the neighborhood rather than out on busy Cliff Road. A path going into Andes circle would be much safer for the children in our neighborhood to use. It would alleviate the need to turn around and go back or come out on Cliff Road.

As a parent, resident and concerned citizen of Inver Grove Heights, I ask that you think about the safety and satisfaction of all your residents and not just two property owners on Andes Circle when making your decision on this easement vacation request.

Thank you,

Kirsten Langstraat

Kirsten Langstraat
10807 Alison Way
Inver Grove Heights, MN 55077
612-978-4003 - Cell

Allan Hunting

From: David Leckey [davidl@danetechnologies.com]
Sent: Tuesday, May 20, 2008 2:25 PM
To: Allan Hunting
Cc: Mark Lehman (E-mail)
Subject: FW: Southern Lakes Trail

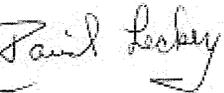
Dear Mr. Hunting:

Please accept this email as my method of testifying to the Planning Commission in regards to an easement vacation request by certain Southern Lakes property owners.

It is my understanding that if such request is recommended to - and then granted by - the City Council then Southern lakes will lose the only easement it has to the trail. As a homeowner at 10764 Alberton Way in the Southern Lakes Development I prefer to maintain this access option and ask the Planning Commission and the City Council to deny the vacation request.

Respectfully,

David Leckey



David Leckey
Executive Vice President
Dane Technologies
7105 Northland Terrace
Brooklyn Park, MN
(763) 746-4425 Direct
(763) 544-4234 Fax
davidl@danetechnologies.com
www.danetechnologies.com

Allan Hunting

From: Mark Lehman [mlehman@permasteelisa-cs.com]
Sent: Tuesday, May 20, 2008 2:04 PM
To: Allan Hunting
Subject: Southern Lakes Trail

Allan,

In my opinion it would be a mistake for the city of Inver Grove Heights to grant the easement vacation request of Grass/Notch – Case # 08-22VA. This easement was in the original development plans and it is actually shown as a trail on the IGH city park map for Southern Lakes. I currently do not allow my children on the trail unless they are with adults as I don't want the temptation of taking the short cut down Cliff Road to reenter the neighborhood in lieu of turning around and going all the way back. Also, if future plans call for a trail the easement would be tough to attain without considerable cost or red tape. I recommend that no consideration is given to this request and talks turn to bringing this path into the neighborhood in the near future.

Thank you for your time.

Mark Lehman

Business Development

PERMASTEELISA NORTH AMERICA

2060 Centre Point Blvd. Suite 10, Mendota Heights, MN 55120

T 651.905.1515 Ext. 141 | F 651.905.1653 | C 651.497.0442 | permasteelisa.com

5/20/2008

Allan Hunting

From: jay.nasca@thomsonreuters.com
Sent: Tuesday, May 20, 2008 2:02 PM
To: Allan Hunting
Cc: mlehman@permasteelisa-cs.com
Subject: Southern Lakes Trail

I am a homeowner in the Southern Lakes development and felt necessary to send you a message on the proposed easement vacation request that would impact the walking trail. While I can understand and to some extent sympathize with the homeowners requesting this vacation, the easement was in place when the lots were purchased, as are numerous other easements within this neighborhood community. To compound this fact, granting this request would cut off the trail encouraging the use of Cliff Road as a connector rather than the existing path easement. This concerns me greatly as a member of this community, a parent of 2 young children and coach of a community youth athletics program.

Aesthetics and homeowners feeling good about their property are important to developments like Southern Lakes, but lines need to be drawn when those topics introduce safety concerns and I would consider it a strong disservice to the community if those priorities were reversed.

I would urge you to put the needs of a community above the wants of a small number of homeowners.

Regards,

Jay nasca

Jay Nasca
Sr Dir, Technology

Thomson Reuters

Phone: 651 687-4117

Jay.nasca@thomsonreuters.com
thomsonreuters.com

Allan Hunting

From: justin.c.crane@ubs.com
Sent: Tuesday, May 20, 2008 2:03 PM
To: Allan Hunting
Cc: mlehman@permasteelisa-cs.com
Subject: Southern Lakes Trail

I have been a resident of Southern Lakes for over five years and have used the trail very infrequently because I was unaware of the easement. Walking down Cliff is like walking on the edge of a highway. Having the trail connect back into the neighborhood would be a much safer option for us and our children.

Thank you,

Justin Crane

Financial Advisor
Vice President- Investments
UBS
3500 Normandale Lake Blvd
Suite 210
Bloomington, MN 55437

Tel. 952-921-7928
Fax 952-921-7905

justin.c.crane@ubs.com
www.ubs.com/team/zeebandcrane

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UBS Financial Services Inc.
UBS International Inc.
UBS Financial Services Incorporated of Puerto Rico

5/20/2008

Allan Hunting

From: Mark Lehman [mlehman@permasteelisa-cs.com]
Sent: Tuesday, May 20, 2008 1:57 PM
To: Allan Hunting
Cc: 'Daniel Boerboom'
Subject: FW: Southern Lakes Trail

On behalf of Dan Boerboom

I am strongly opposed to releasing the easement for the Southern Lakes Trail. It would put our children at risk to put them out onto Cliff Road to re-enter the development. With the increasing traffic patterns on Cliff and the propensity for vehicles to pass on the shoulder in the area, it would only be a matter of time until we're answering to the tragic loss of one of our kids. As I understand it, this easement was well documented by the developer when the properties in question were purchased. I would actually move to have this easement utilized to complete the trail to re-enter the development so it can be enjoyed by members of our neighborhood.

Regards,
Dan Boerboom
VP - Strategic Sales and Marketing
612-709-1876 Cell
952-229-3647 Office

***** PLEASE NOTE ***** This E-Mail/telefax message and any documents accompanying this transmission may contain privileged and/or confidential information and is intended solely for the addressee(s) named above. If you are not the intended addressee/recipient, you are hereby notified that any use of, disclosure, copying, distribution, or reliance on the contents of this E-Mail/telefax information is strictly prohibited and may result in legal action against you. Please reply to the sender advising of the error in transmission and immediately delete/destroy the message and any accompanying documents. Thank you.

Allan Hunting

From: Mark Lehman [mlehman@permasteelisa-cs.com]
Sent: Tuesday, May 20, 2008 4:30 PM
To: Allan Hunting
Cc: leslie.chestnut-hahn@thomsonreuters.com
Subject: FW: Southern Lakes Trail

Oh behalf of Leslie Chestnut-Hahn.

From: leslie.chestnut-hahn@thomsonreuters.com [mailto:leslie.chestnut-hahn@thomsonreuters.com]
Sent: Tuesday, May 20, 2008 4:25 PM
To: ahunting@ci.inver.grove.heights.mn.us
Cc: Doug.Hahn@gmacrescap.com; mlehman@permasteelisa-cs.com
Subject: Southern Lakes Trail

Re: Southern Lakes Trail

We are residents of the Southern Lakes development and we're unable to attend the hearing tonight. We're writing to state our support of improvements to the trail in our development, particularly in regards to the connection of the trail to Andes Circle. We absolutely do not support a vacation of the current easement for the trail.

The easement was put in place for a very good reason to improve the recreation options in our neighborhood and the safety of those opportunities. Our son is eight years old and Jackson and his friends are not allowed to walk or bike on Cliff Road. One of the many reasons we moved to this neighborhood were the amenities offered in Southern Lakes, including the trail and the potential to extend and connect the trail to make it a true neighborhood trail. Extending the trail to Andes circle and improving the surface would give our son and his friends in the neighborhood a safer and better trail to hike and bike within our neighborhood.

Do not vacate the existing easement and cause our neighborhood to lose this valuable resource to extend the trail.

Leslie A. Chestnut-Hahn
Douglas H. Hahn
10837 Alberton Way
Inver Grove Heights, MN 55077

Heather Botten

Subject: FW: Path Easement on Andes Circle

From: Stacy Broman

Sent: Tuesday, May 20, 2008 2:09 PM

To: mlehman@permasteelisa-cs.com

Cc: ahuntung@ci.inver-grove-heights.mn.us; Stacy Broman

Subject: RE: Path Easement on Andes Circle

I can't make the meeting but would prefer to see the path easement left where it is. I don't like the idea of the children walking on Cliff. I don't understand why they are asking to vacate the easement. What is their reason for wanting to vacate the easement? Have there been problems with the easement? If there are problems with the easement then I'm sure the City will listen to their concerns. If there have indeed been problems I would feel differently. But if they have just decided they don't want it, then I am opposed to vacating the easement if this was indeed on the development plan when they bought their property. I'm sorry I can't make the meeting.

Stacy Broman

10731 Alison Way

Heather Botten

From: Allan Hunting
Sent: Monday, June 02, 2008 7:13 AM
To: Heather Botten
Subject: FW: Southern Lakes Trail

From: Lisa Slinde [mailto:lslinde@deltaenv.com]
Sent: Friday, May 30, 2008 4:39 PM
To: Allan Hunting
Subject: Southern Lakes Trail

Hi Allan

I am a Southern Lakes Resident and I am not in favor of granting a vacation request for the property owners on Andes Circle. I would prefer the trail to remain on the plan and hopefully a bike trail will be built down to Rosemount. This would be great as the residents of Southern Lakes will attend Rosemount Middle and High school. This would be a great option to bike down a trail rather than Highway 3. As a former Board Member, the Cliff Rd berm has been a hot topic as far as excavation, fences, etc. and by granting a vacation would potentially open the flood gates to other issues. Thanks for your time.

Lisa

Lisa Slinde
Delta Consultants
5910 Rice Creek Pkwy, Suite 100
Shoreview, MN 55126
Ph: 651.697.5213 Fax: 651.639.9473

Confidentiality Notice: If you are not the intended recipient of this email, please delete it. Thank you.

Heather Botten

Subject: FW: Southern Lakes Trail

From: DeGrote, Ryan (CPG) [mailto:Ryan.DeGrote@cengage.com]

Sent: Tuesday, May 20, 2008 2:41 PM

Subject: Southern Lakes Trail

Allan –

I will not be able to attend the meeting this evening to discuss the Southern Lakes Trail and related easement and am sending this email in hopes that you'll take my voice/opinion into consideration for this critical matter.

I have 3 children (ages 7, 5 and 4) who enjoy walking and playing in the neighborhood. At this point in time, my wife and I are usually with them as they explore this wonderful neighborhood, utilize the park equipment and play with their growing legion of friends. In the not so distant future, much to my chagrin, my children will continue these activities, as well as grow into new activities without my wife and me by their side constantly. As they get older, I envision that they'll (and many of the other children in our neighborhood) use the woodsy trail with their friends learning about wildlife, looking for bugs, playing hide and seek, climbing on trees etc.

I fear that a relaxation or relocation of the easement trail head from the Andes Circle to Cliff Road will create a few less-than-ideal scenarios:

1. First and foremost, children (and adults) will need to reenter our development via Cliff Road. The distance from the trail entry to Cliff Road to the Alison Way entrance provides ample opportunity for general mischief, increased likelihood careless and inattentive driving impacting a person(s) on the shoulder or "kids being kids" where the outcome could be very dangerous or possibly fatal.
2. Trail use will almost certainly decrease due to the increased likelihood of danger, which will mean the trail isn't optimally used and potentially not subject to the same upkeep as a heavily used trail.
3. A relaxation of the current easement could result in minimal (if any) attempts at trail expansion, trail upkeep or future trail entrance access into the development at another point in the future.

I understand why the directly affected homeowners might not want a trail head in between their homes. I get that. However, this is a neighborhood-wide decision impacting 250 homes. I believe the fundamental question on the table should be if the two homeowners were aware (or were provided information in their covenants at the time of purchase) of the planned trail easement when they purchased their homes or if the trail access easement was part of the original development covenants. My understanding is that the neighborhood association (and hopefully the city by extension) should be bound to observe and uphold the development's covenants and the "vision" of a family-oriented neighborhood.

Simply put:

- Trail access easement in original covenants or development plan = your support in keeping the trail access easement in place and hopefully finished/built (for lack of a better word).
- No mention of trail access or easement in original covenants or development plans = no support needed, the trail access easement can be removed

I know that when I bought my home, I poured over the covenants and quite frankly, I am a little frustrated that the trail access and maintenance issues have not improved or been finished in the 7 plus years I've been living in this development. I fear that if we don't support the original covenants, the future use and upkeep of the trail will significantly diminish. A strong trail (ideally a system) will increase and support a healthy lifestyle, minimize potentially dangerous or heaven-forbid, fatal accidents on Cliff Road, create and sustain a feeling of community and family, as well as continue to make Southern Lakes a great place to raise a family.

Please contact me via email or my phone (651.406.9225) if you have any questions or comments.

Cheers,

Ryan DeGrote

Homeowner

6/4/2008

Heather Botten

Subject: FW: FW: Path Easement on Andes Circle

From: VCBunce@aol.com [mailto:VCBunce@aol.com]

Sent: Tuesday, May 06, 2008 10:23 AM

To: mlehman@permasteelisa-cs.com

Subject: Re: FW: Path Easement on Andes Circle

Hey Mark! I truly understand why the neighbors would want to vacate the easement - as it affects their property and it would be an inconvenience but hey - they knew the possibility when they bought the property.

While I can empathize with them, however, I think that for the kids' safety, allowing the trail to go back into the neighborhood vs. Cliff Road, is a much safer and smarter option. Too often I see kids nearly getting picked off from the 55+ MPH drivers on Cliff Road - myself included.

6/4/2008

Heather Botten

Subject: FW: Path Easement on Andes Circle

From: JoAnn Cochran [mailto:joann_cochran@hotmail.com]

Sent: Tuesday, May 06, 2008 2:01 PM

To: mlehman@permasteelisa-cs.com

Subject: RE: Path Easement on Andes Circle

Hey Mark, I don't have a strong opinion either way because personally we have not used this trail (probably because I don't know where it is). However, if it benefits the greater neighborhood (???) and the homeowners were aware of the easement when they purchased their lots it seems logical to bring the trail back through the neighborhood. There's my two cents. Have a great day! JoAnn

6/4/2008

To: City of Inver Grove Heights

From: Cecilia Grass and Stacey and Jeff Notch

Topic: Signatures supporting the removal of the easement between 10883 and 10887 Andes Circle.

Name: Amy Brushaber
Address: 10920 Andover Court
Phone #: 651-365-1240
Signature: Amy Brushaber

Name: Debra Anderson
Address: 10568 Alison Way
Phone #: 651-454-8715
Signature: Debra Anderson

Name: Sam Lam
Address: 10921 Andover Ct
Phone #: 651-406-8108
Signature: Sam Lam

Name: Beth Dean
Address: 10948 Alison Way
Phone #: 651-452-4658
Signature: Beth Dean

Name: Robert Cobian
Address: 10927 Andover Court
Phone #: 651-454-7523
Signature: Robert Cobian

Name: Paula O'Brien
Address: 10953 Alison Ct
Phone #: 651-686-7855
Signature: Paula O'Brien

Name: Bob Wilson
Address: 10589 Alison Way
Phone #: 612-636-7300
Signature: Bob Wilson

Name: Sandra Gustafson
Address: 10952 ALISON Ct
Phone #: 651-686-7932
Signature: Sandra Gustafson

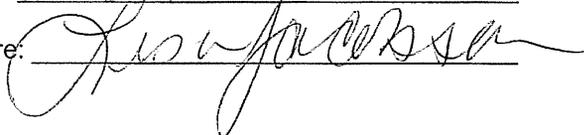
Name: Jillie Hartley
Address: 10584 Alison Way
Phone #: 651-452-0228
Signature: Jillie Hartley

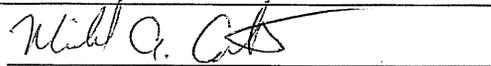
Name: MIKE FLAHERTY
Address: 10969 Alison Way
Phone #: 651-454-0723
Signature: Mike Flaherty

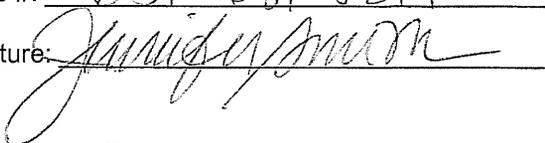
To: City of Inver Grove Heights

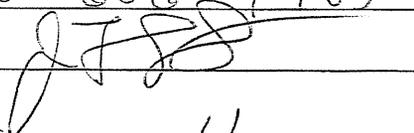
From: Cecilia Grass and Stacey and Jeff Notch

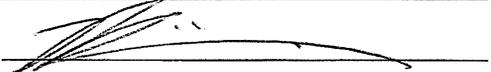
Topic: Signatures supporting the removal of the easement between 10883 and 10887 Andes Circle.

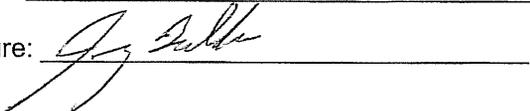
Name: LISA JACOBSON
Address: 10866 Andes Circle
Phone #: 651-686-8255
Signature: 

Name: Michael Contos
Address: 10596 Alison Way
Phone #: 651 454 1448
Signature: 

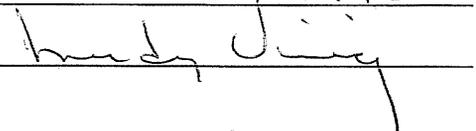
Name: JENNIFER SMITH
Address: 10857 Andes Circle
Phone #: 651-681-8214
Signature: 

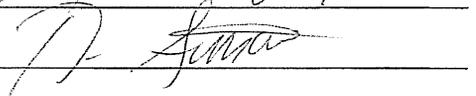
Name: Jim Simonet
Address: 10911 Andover Ct
Phone #: 651-686-7903
Signature: 

Name: Richard Vining
Address: 10856 Andes Cir.
Phone #: 651-269-9093
Signature: 

Name: Tommy Baldwin
Address: 10914 Andover ct
Phone #: 651-688-8997
Signature: 

Name: Stave Bunde
Address: 10853 Andes Circle
Phone #: 651-405-6650
Signature: S. Bunde

Name: Mindy Vining
Address: 10856 Andes Circle
Phone #: 651-260-1975
Signature: 

Name: Dean Simons
Address: 10604 Alison Way
Phone #: (651) 365-8643
Signature: 

Name: Dorothy Jean Haven
Address: 10632 Alison Way
Phone #: 482 7468
Signature: _____

To: City of Inver Grove Heights

From: Cecilia Grass and Stacey and Jeff Notch

Topic: Signatures supporting the removal of the easement between 10883 and 10887 Andes Circle.

Name: Monica Lebra Anthony
Address: 10888 Andes Circle
Phone #: 651-686-1750
Signature: Monica Anthony

Name: Dan Deeg
Address: 10879 Andes Circle
Phone #: 651 452-2989
Signature: Dan Deeg

Name: Gina Kovach
Address: 10884 Andes Cir.
Phone #: 651-686-8915
Signature: Gina Kovach

Name: RICHARD FAHLAND
Address: 10871 ANDES CIRCLE
Phone #: 651-405-8710
Signature: Richard Fahland

Name: Bruce Boelter
Address: 10878 Andes Cir.
Phone #: 651-405-8931
Signature: Bruce Boelter

Name: Cecilia Grass
Address: 10887 Andes Cir.
Phone #: 651-905-9014
Signature: Cecilia Grass

Name: Mary Ann M. Deeg
Address: 10879 - Andes Cir
Phone #: 651-452-2989
Signature: Mary Ann M. Deeg

Name: Stacey Notch
Address: 10883 Andes Circle
Phone #: 651-456-5867
Signature: Stacey Notch

Name: Patricia & Justin Dale
Address: 10875 Andes Circle
Phone #: 651-994-4894
Signature: Justin Dale

Name: Paula & Rocky Bulis
Address: 10872 Andes Cir
Phone #: 651-452-8134
Signature: Paula Bulis

To: City of Inver Grove Heights

From: Cecilia Grass and Stacey and Jeff Notch

Topic: Signatures supporting the removal of the easement between 10883 and 10887 Andes Circle.

Name: Kathryn & Larry Cox
Address: 10976 Alison Ct
Phone #: 651-905-0656
Signature: Kathryn Cox

Name: Krista Kay
Address: 10941 Alexandra Ct
Phone #: 651-451-6316
Signature: Krista Kay

Name: Mary Tauer
Address: 10945 Alexandra
Phone #: 651-216-2205
Signature: Mary Tauer

Name: Diane Benz
Address: 10900 Alison Way
Phone #: 651-683-0303
Signature: Diane Benz

Name: Siri Lemke
Address: 4500 Arvia Dr
Phone #:
Signature: Siri Lemke

Name: Paula Dippold
Address: 10876 Alison Way
Phone #: 651-406-9888
Signature: Paula Dippold

Name: Jason D. Kuler
Address: 10855 Alison Way
Phone #: 651-994-8864
Signature: Jason D. Kuler

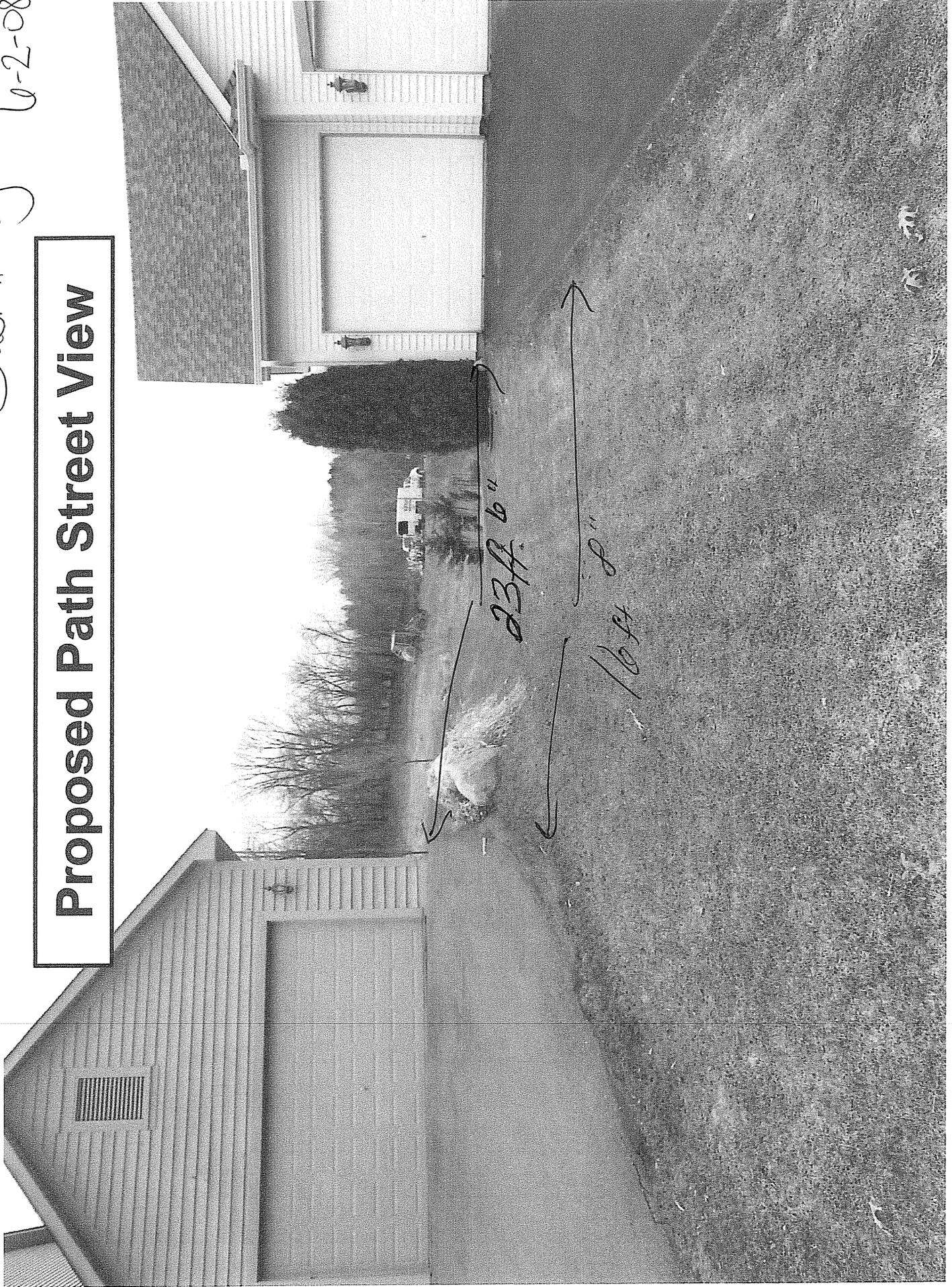
Name: _____
Address: _____
Phone #: _____
Signature: _____

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Address: _____
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Name: _____
Address: _____
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Signature: _____

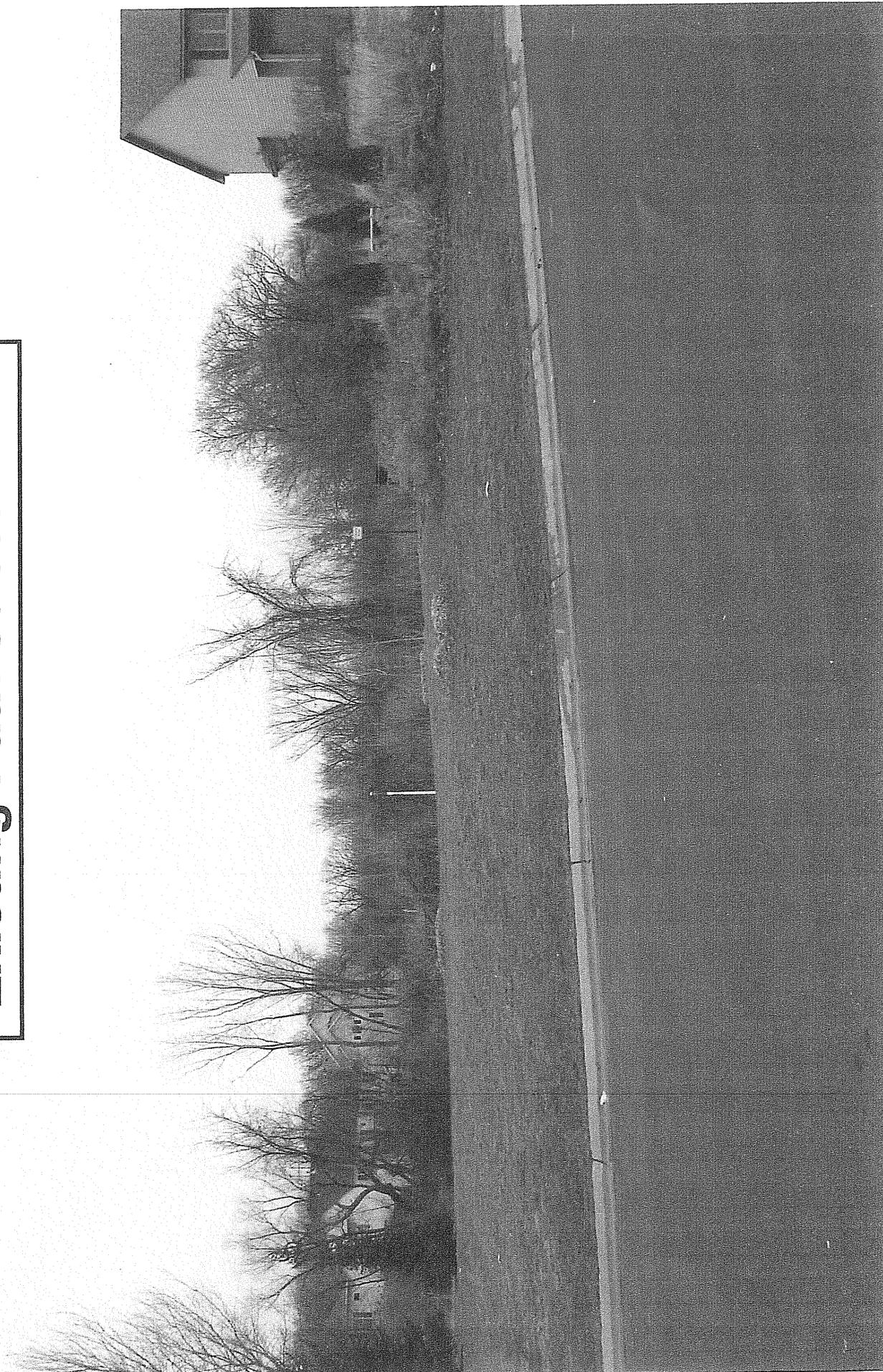
Submitted by the Applicant
U-2-08

Proposed Path Street View



DRIVEWAY to DRIVEWAY 19' 4"

Existing Path Street View



PLANNING REPORT
CITY OF INVER GROVE HEIGHTS

REPORT DATE: May 15, 2008

CASE NO: 08-22VAC

HEARING DATE: May 20, 2008

APPLICANT/PROPERTY OWNERS: Cecelia Grass and Stacey Notch

REQUEST: Vacation of a dedicated public trail easement

LOCATION: Between the properties 10883 and 10887 Andes Circle

COMPREHENSIVE PLAN: LDR, Low Density Residential

ZONING: R-1C, Single Family Residential

REVIEWING DIVISIONS: Planning
Park and Rec

PREPARED BY: Heather Botten 
Associate Planner

BACKGROUND

The applicants are requesting to vacate a 20 foot wide dedicated public trail easement that is located along their common property line. A 10 foot easement is located on each property at 10883 and 10887 Andes Circle. The easement and easement agreement were created at the time of the platting of Southern Lakes 4th Addition to provide access to the public park and trail-way which would be developed east of this subdivision. The easement agreement created for Lot 26 and 27, Block 2, Southern Lakes 4th Addition (proposed property) states: The easement shall be for use as a pedestrian and non-motorized recreational sidewalk/trail and shall include such activities as walking, running, biking, skiing, in-line skating, roller skating, skateboarding, the walking of household pets and other forms of similar non-motorized pedestrian use. The agreement also states: No structures, obstructions, or fences shall be allowed in the easement area unless written approval is granted by the City.

EVALUATION OF THE REQUEST

Surrounding Uses. The subject site is surrounded by the following uses:

North and West – Single Family Residential, zoned R-1C; guided LDR, Low Density Residential
East - City owned property, zoned P, Public/Institutional; guided P
South – Large lot single-family; zoned E-1, Estate Residential; guided RDR, Rural Density Residential

Park and Recreation has reviewed the request. Staff is recommending that the property owners enter into an *Easement Encroachment Agreement* that would allow the property owners to make private improvements within the easement. The agreement would require the property

owners to remove private improvements in the easement at the owners expense should the City decide to construct a trail at some future date. Staff suggests that vacating the easement is not advised as getting a "new" easement in the future would be nearly impossible and costly as the City would be required to pay for a future trail easement.

ALTERNATIVES

The Planning Commission has the following alternatives for the requested action:

- A.) **Approval:** If the Planning Commission favors the requested Vacation of the dedicated 20' trail easement between Lot 26 and 27, Block 2, Southern Lakes 4th Addition the Commission should recommend approval of the request.
- B.) **Denial:** If the Planning Commission does not favor the proposed application, the above request should be recommended for denial which could be based on the following rationale:
1. The dedicated public trail easement was planned to provide access to the public park and trail-way and is part of the trail system with the Southern Lakes plat.
 2. Obtaining a "new" easement in the future would be nearly impossible and costly as the City would be required to pay for a future trail easement.

RECOMMENDATION

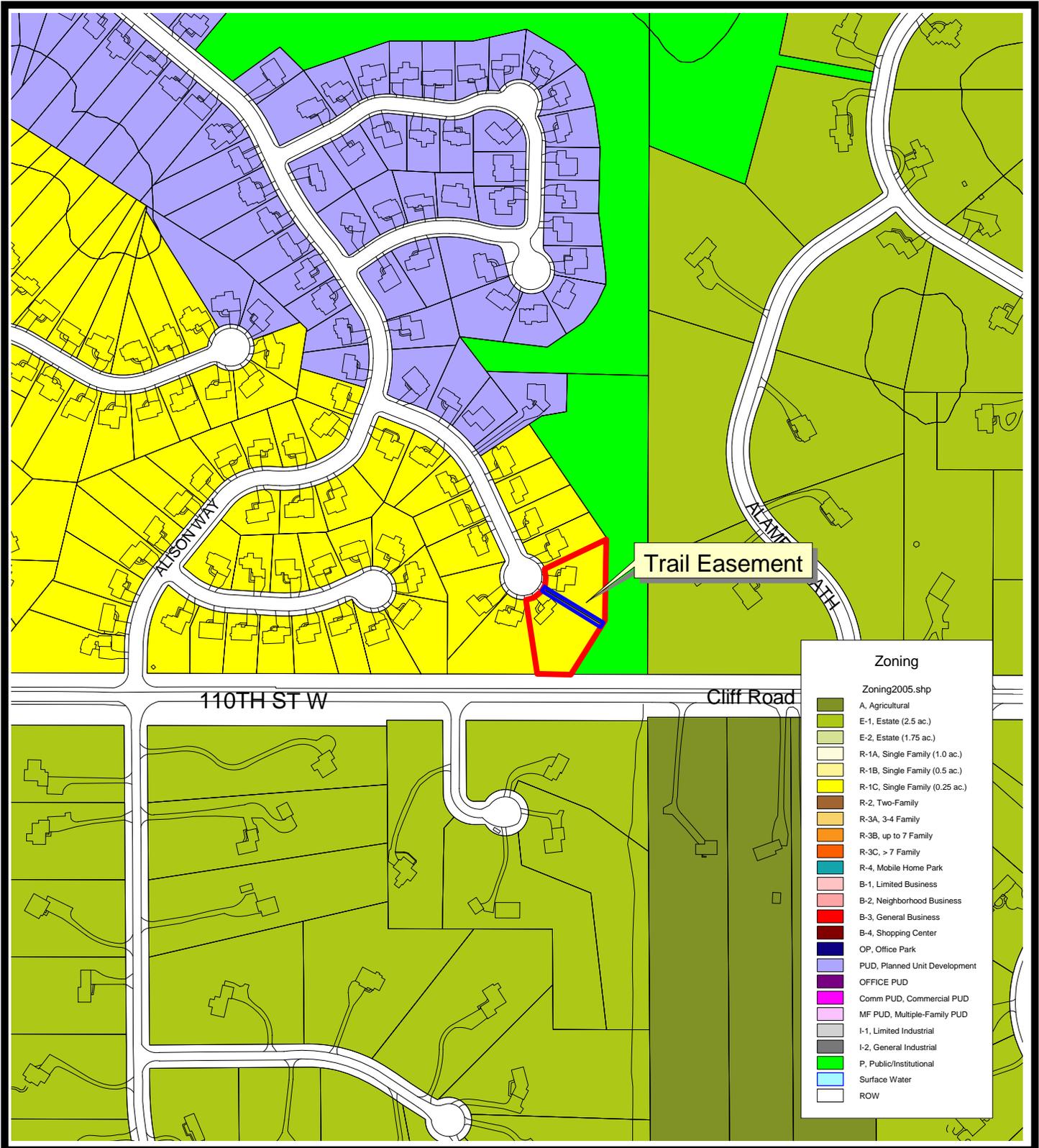
Based on the fact that the City may want to construct a trail in the future, the vacation of the easement is **not recommended by staff**. Staff would be in support of the property owners entering into an *Easement Encroachment Agreement* that would allow the property owners to make private improvements within the easement (ie, installing a fence).

Park and Rec Commission: On May 14, 2008, the Inver Grove Heights Park and Recreation Commission reviewed the request to vacate the trail easement between the two addresses mentioned above. On a 5-3 vote, the Commission is recommending the easement be vacated.

Attachments: Location Map
Southern Lakes proposed trail map
Sidewalk/Trail Easement agreement
Letter from the applicant
Pictures submitted by the applicant
Surveys of 10883 and 10887 Andes Circle

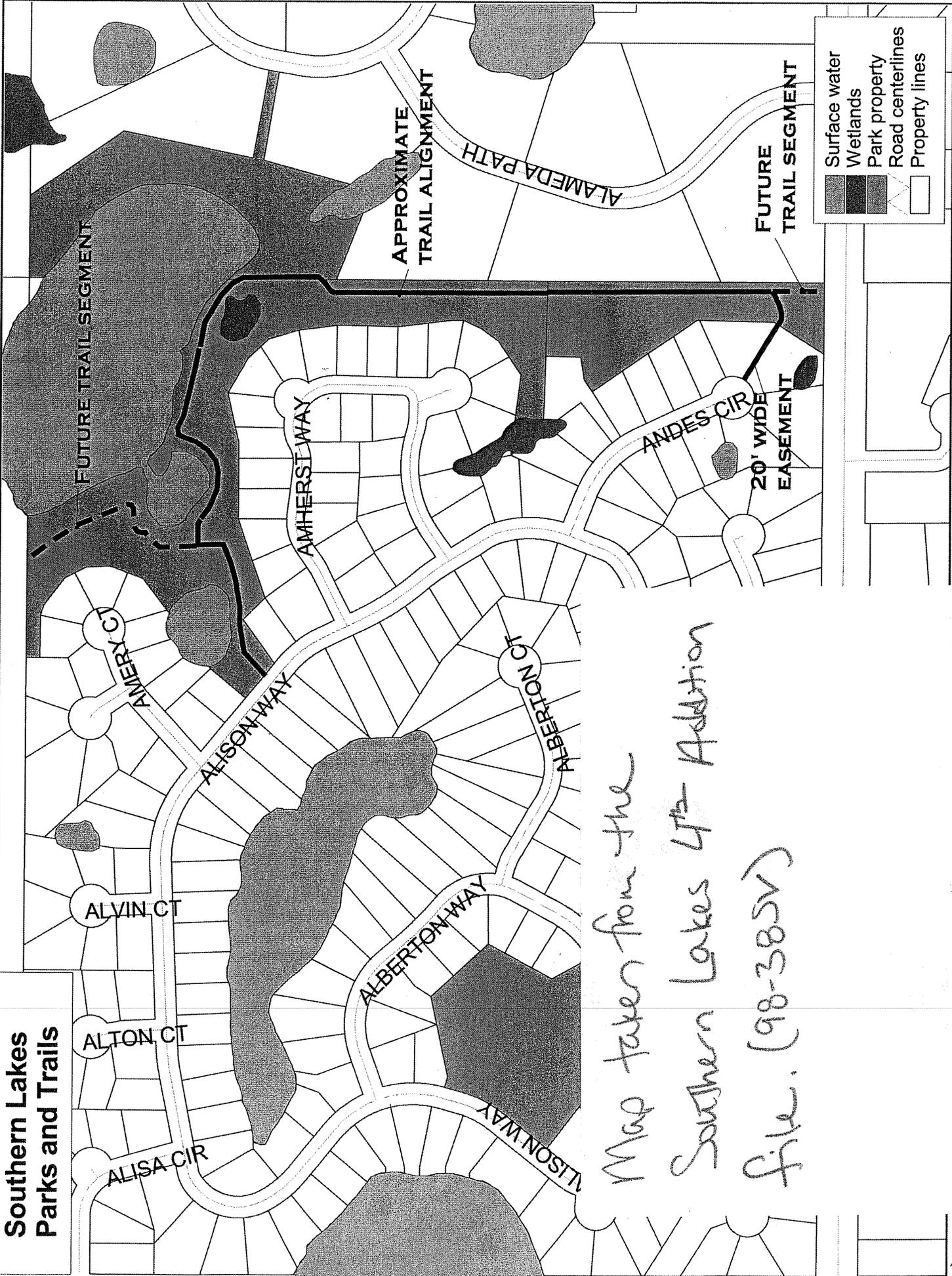


Grass/Notch Easement Vacation



Map is not to scale

**Southern Lakes
Parks and Trails**



Map taken from the
Southern Lakes 4th Addition
file. (98-385V)

382659

Notarized

OFFICE OF THE REGISTRAR OF TITLES
DAKOTA COUNTY, MINNESOTA
CERTIFIED THAT THE WITHIN INSTRUMENT
WAS RECORDED IN THIS OFFICE ON AND AT

382659

1998 SEP 24 P 4: 30

DOC. NO. 382659

CERTIFICATE NO. 111111

VOLUME 285 PAGE 100

JOEL T. BECKMAN, REGISTRAR OF TITLES

BY: *[Signature]* Deputy

FEE \$50 SURCHARGE

ASSURANCE FUND

NON-ASSUR MISC FEE

CASH CHECK ESCROW

WELL CHARGE

CHARGE TO:

O/R

DO NOT REMOVE

[Signature]

Lot 26 & 27, Block 2,
Southern Lakes 4th Addition

EASEMENT AGREEMENT (SIDEWALK/TRAIL)

THIS INDENTURE, Made this 1st day of September, 1998, between Lyman Development Co., a Minnesota corporation, hereinafter referred to as the "Landowner", and the City of Inver Grove Heights, a municipal corporation organized under the laws of the State of Minnesota, hereinafter referred to as the "City",

WITNESSETH:

That the said Landowner in consideration of the sum of One Dollar and other good and valuable consideration to it in hand paid by the City, the receipt and sufficiency of which is hereby acknowledged, does hereby grant and convey unto the said City, its successors and assigns, forever, a permanent easement for sidewalk/trail purposes over, under and across the following described property:

See the description of easement attached hereto as Exhibit A and incorporated herein by reference

EXEMPT FROM STATE DEED TAX

The easement shall be for use as a pedestrian and non-motorized recreational sidewalk/trail and shall include such activities as walking, running, biking, skiing, in-line skating, roller skating, skateboarding, the walking of household pets and other forms of similar non-motorized pedestrian use. In addition, the easement may be used by public emergency motorized vehicles and public maintenance motorized vehicles. The easement shall not be used by other motorized vehicles, or by all terrain vehicles, or by snowmobiles, and the easement shall not be used for horseback riding. No structures, obstructions or fences shall be allowed in the easement area unless written approval is granted by the City.

DATE RECEIVED *Sept. 24, 1998*
THOMAS V. NOVAK
DAKOTA COUNTY TREASURER-AUDITOR

EXHIBIT A

The northeasterly 10 feet of Lot 26 and the southwesterly 10 feet of Lot 27, Block 2, SOUTHERN LAKES 4TH ADDITION, according to the recorded plat, Dakota County, Minnesota.

Date: April 21, 2008

To: City of Inver Grove Heights

From: Cecilia Grass
10887 Andes Circle

Stacey and Jeff Notch
10883 Andes Circle

Topic: Removal of Easement on property line

The purpose of this letter is to explain why the above properties would like the city of Inver Grove Heights to remove the easement on the property line.

The easement between 10887 and 10883 Andes circle has been identified as a location to develop a path that would connect to Cliff Rd. In 2001 the city completed construction of the Southern Lakes path. However, at this time the path was never developed through the properties on Andes Circle.

On April 9th, 2008 the Southern Lakes Association along with the city held their monthly meeting to discuss:

- *Path maintenance
- *Path enhancement
- *Connection through Andes Circle

During this meeting it was discussed to further research the maintenance but not to develop through Andes Circle on the properties identified above. (Please see attached notes and pictures of property discussed).

Therefore the residents at 10887 and 10883 Andes Circle, the addresses where this easement lies would like to have the easement removed so we may further develop our landscaping and utilize our full properties.

Thank you for your time regarding this matter.

Sincerely,



Cecilia Grass
CC: Stacey and Jeff Notch

D

Existing Path Outlet

Business or location ...

businesses | People | Collections | Locations

Welcome | Directions | Collections | Share

Microsoft Virtual Earth™

© 2008 Microsoft | Privacy | Legal

© 2007 Microsoft Corporation. © 2007 Phobosky International Co

Code of Conduct | Developers | About | Help | Account | Feedback

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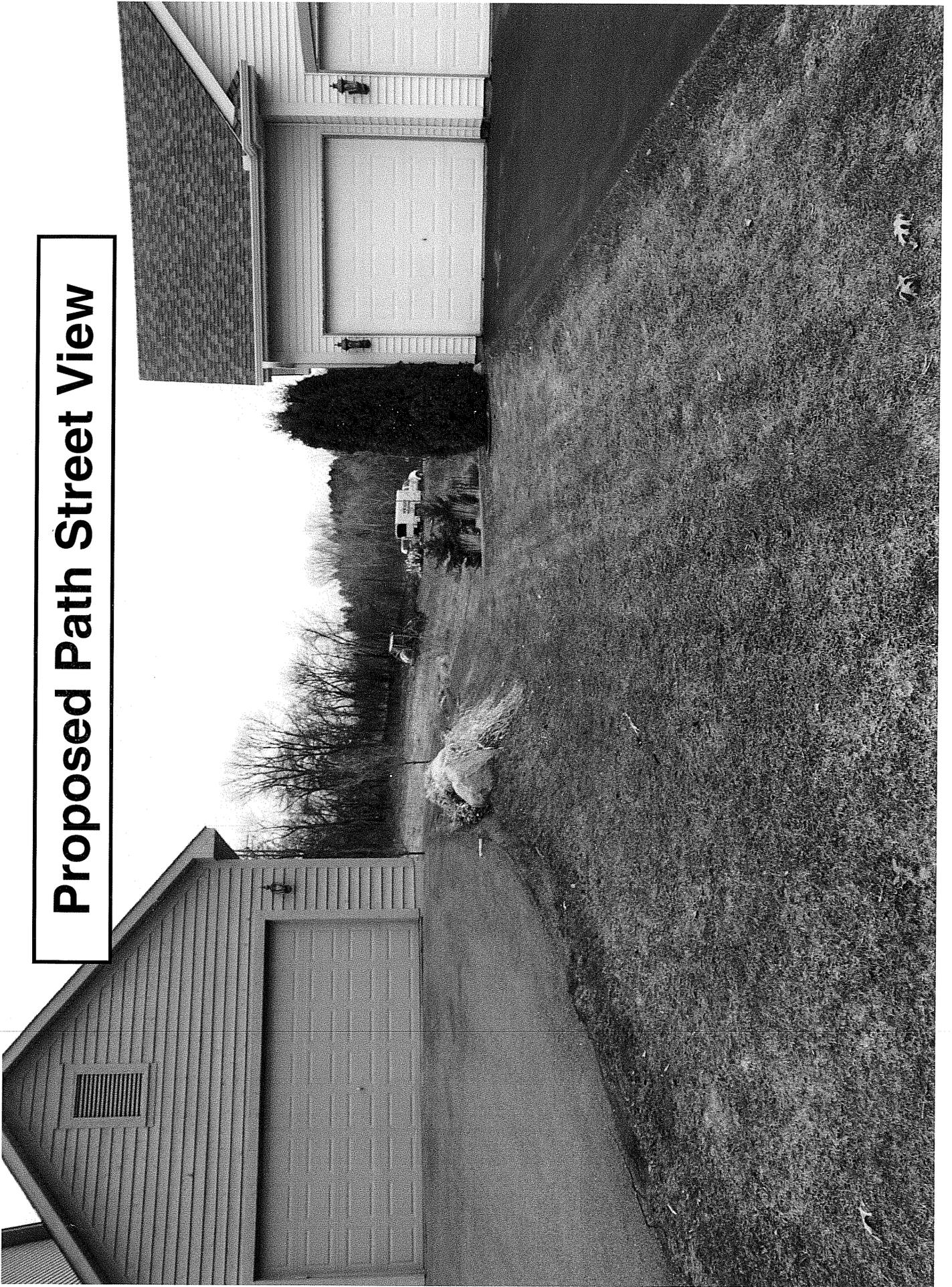
R H

Allison Way

Proposed Path Outlet

The screenshot displays the Microsoft Virtual Earth interface. At the top, there is a search bar with the text "Business or location ..." and a "Web" button. Below the search bar are navigation links: "Businesses", "People", "Collections", and "Locations". The main map area shows an aerial view of a residential neighborhood with several houses and a road. A red circle highlights a specific area on the map, and a white arrow points from the "Proposed Path Outlet" text to this circle. In the bottom right corner, there is a small inset map showing the current location relative to "Albavara Pa" and "Alameda path". The bottom of the interface features a navigation bar with options: "2D", "3D", "Road", "Aerial", "Hybrid", "Bird's eye", and "Traffic". The Microsoft Virtual Earth logo and copyright information "©2008 Microsoft | Privacy | Legal" are visible in the bottom right corner. The browser's address bar shows "Internet" and the page title is "Code of Conduct | Developers | About | Help | Account | Feedback".

Proposed Path Street View



CITY OF INVER GROVE HEIGHTS

REQUEST FOR COUNCIL ACTION

A&W RESTAURANTS; Consider a Resolution relating to a **Preliminary and Final PUD Development Plan** for a drive-in/drive through fast food restaurant located on Buchanan Trail in Arbor Point.

Meeting Date: July 28, 2008
 Item Type: Regular Agenda
 Contact: Allan Hunting 651.450.2554
 Prepared by: Allan Hunting, City Planner
 Reviewed by:

Fiscal/FTE Impact:	
<input checked="" type="checkbox"/>	None
<input type="checkbox"/>	Amount included in current budget
<input type="checkbox"/>	Budget amendment requested
<input type="checkbox"/>	FTE included in current complement
<input type="checkbox"/>	New FTE requested – N/A
<input type="checkbox"/>	Other

PURPOSE/ACTION REQUESTED

Consider a Resolution relating to a **Preliminary and Final PUD Development Plan** for a drive-in/drive through fast food restaurant located on Buchanan Trail in Arbor Point.

- Requires 3/5th's vote.
- 60-day deadline: August 15, 2008 (first 60-days)

SUMMARY

A&W Restaurants is proposing to construct a new restaurant on the vacant parcel between Ruby Tuesday and Advance Auto Parts along Buchanan Trail in Arbor Pointe. The restaurant would include both drive-up service to your car with order boards, along with the traditional drive up window.

ANALYSIS

The property has been previously graded and all utilities are in place to extend to the site. The existing storm water system was sized to accommodate the development. The project complies with all performance standards and with the Arbor Pointe Design Manual.

The planning report makes some comments regarding the exterior materials and staff initially required additional green banding be provided to be consistent with other buildings. The applicant informed the Planning Commission that the building will have a green band along the top line of the building similar to Ruby Tuesday. With this additional knowledge, Staff is satisfied that the proposed exterior is consistent with the Arbor Pointe Design Manual and the condition requiring more green is not included in the attached resolution.

Planning Staff Recommends approval of the Preliminary and Final PUD Development Plans as presented with the condition listed on the attached resolution.

Planning Commission Also recommended approval of the request (9-0)

Parks and Recreation Not applicable.

Attachments: PUD Resolution
 Planning Commission Recommendation
 Planning Report

**CITY OF INVER GROVE HEIGHTS
DAKOTA COUNTY, MINNESOTA**

RESOLUTION NO. _____

**A RESOLUTION APPROVING A PRELIMINARY PUD AND FINAL PUD
DEVELOPMENT PLAN FOR A 1,942 SQUARE FOOT DRIVE IN/DRIVE THROUGH FAST
FOOD RESTAURANT**

**CASE NO. 08-37PUD
(A&W Restaurants)**

WHEREAS, a preliminary PUD and final PUD development plan application has been submitted to the City for property legally described as;

**Lot 2, Block 1, Arbor Pointe 15th Addition, Dakota County, Minnesota, according to the
recorded plat thereof**

WHEREAS, a public hearing concerning the preliminary PUD and final PUD development plan was held before the Inver Grove Heights Planning Commission in accordance with Minnesota Statutes, Section 462.357, Subdivision 3 on July 15, 2008;

**NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF INVER GROVE
HEIGHTS that**, the Preliminary PUD and final PUD development plan for a 1,942 square foot drive in/drive through fast food restaurant is hereby approved subject to the following conditions:

1. The site shall be developed in substantial conformance with the following plans on file with the Planning Department except as may be modified by the conditions below.

Site Plan	dated 7/02/08
Grading and Drainage Plan	dated 7/02/08
Utility Plan	dated 7/02/08
Landscape/Lighting Plan	dated 6/16/08
Elevation Plan	dated 7/09/08

2. Prior to issuance of building permits, the final grading, drainage and erosion control, and utility plans shall be approved by the Director of Public Works.
3. All parking lot lighting on site shall be a down cast "shoe-box" style and the bulb shall not be visible from property lines. Any wall lighting shall be directed such that the source of light is hooded, recessed or controlled in some manner so as not to be visible from streets.
4. The trash enclosure shall be constructed of the same materials as used on the building and must have solid gate doors.
5. This particular lot is not allowed a free standing sign. The PUD was approved with free standing signs only allowed along Concord and Broderick Boulevards. There are provisions to allow each lot with signage on the existing multi tenant monument signs.
6. The landscape plan shall be modified to increase the size of the overstory trees required by the Arbor Pointe PUD Ordinance to 3 caliper inches prior to issuance of building permits.

Passed this ____ day of _____, 2008.

AYES:
NAYS:

George Tourville, Mayor

ATTEST:

Melissa Rheaume, Deputy Clerk

**RECOMMENDATION TO
CITY OF INVER GROVE HEIGHTS**

TO: Mayor and City Council of Inver Grove Heights

FROM: Planning Commission

DATE: July 15, 2008

SUBJECT: A & W RESTAURANT – CASE NO. 08-37PUD

Reading of Notice

Commissioner Simon read the public hearing notice to consider the request for a Preliminary and Final PUD Development Plan for a drive-in/drive-through fast food restaurant, for the property located along Buchanan Trail in Arbor Pointe. 10 notices were mailed.

Presentation of Request

Allan Hunting, City Planner, explained the request as detailed in the report. He advised that the applicants would like to construct a drive-in/drive-through fast food restaurant to be located on Buchanan Trail between the Ruby Tuesday restaurant and Advance Auto Parts. The restaurant would include a drive-up sit in your car service, a traditional drive-through window, and both indoor and outdoor dining. Mr. Hunting advised that staff is recommending the following changes, 1) that the landscape plan be modified to increase the size of the overstory trees to three caliper inches, 2) that the proposed internal free-standing sign be eliminated, and 3) that the building elevations be modified to extend the "Arbor Pointe green" so that it is continuous around the entire building. Staff recommends approval of the request with the seven conditions listed in the report.

Opening of Public Hearing

The owners, Patrick and Patricia Nickleson, 6691 Timber Ridge Lane, Cottage Grove, advised they were available to answer any questions.

Craig Moss of Vanguard Construction, the general contractor for the project, suggested that they add green teardrop lighting and green outdoor seating as a means of incorporating more of the Arbor Pointe green into the design.

Chair Bartholomew asked staff if the addition of the proposed teardrop fixtures and picnic tables would be sufficient to satisfy the Arbor Pointe design requirements.

Mr. Hunting stated that would be for the Commission to decide, and he noted that other retailers in the area have changed their corporate colors to be consistent with the Arbor Pointe specifications.

Mr. Moss noted that the elevation plan included a dark green stripe along the parapet of the building.

Mr. Hunting advised that he had not noticed that green feature, and stated that the building as proposed would be consistent with the design requirements for the Arbor Pointe area.

Commissioner Simon asked if anyone from the Arbor Pointe Association was notified of this

proposal, to which Mr. Hunting replied that a notice had been sent to the President of their association. Mr. Hunting noted that he had not received any response from that association, but stated that staff had heard from one resident, White Pines Senior Living, and the Arbor Pointe Commercial Association, who were all in support of the request.

Chair Bartholomew asked if the applicants understood the recommendation regarding the elimination of the freestanding sign.

Mr. Moss advised that the freestanding sign was drawn on the site plan in error and they were not planning on installing it.

Chair Bartholomew asked if the applicants had any issues with the conditions of approval, to which Mr. Moss replied they did not.

Commissioner Hark asked if the applicants still planned to incorporate the proposed teardrop lighting, to which Mr. Moss replied in the affirmative.

Mr. Nickleson stated they currently own three other A & W establishments throughout the metropolitan area, and that they offer many job opportunities for young people.

Ms. Nickleson added that they are very involved in community activities as well.

Commissioner Schaeffer asked when they planned to open, to which Mr. Moss replied they anticipated completing construction by the end of this year.

Planning Commission Recommendation

Motion by Commissioner Schaeffer, second by Commissioner Wippermann, to approve the request for an amendment to the Arbor Pointe PUD consisting of a Preliminary and Final PUD Development Plan for a drive-in/drive-through fast food restaurant for property located on Buchanan Trail, with the seven conditions listed in the report.

Commissioner Simon asked if Condition #5 should be omitted since it was already satisfied.

Mr. Hunting stated that Condition #5 was unnecessary since the green banding was shown on the elevation plans.

Condition #5 was omitted from the motion.

Motion carried (9/0). This matter goes to City Council on July 28, 2008.

P L A N N I N G R E P O R T
C I T Y O F I N V E R G R O V E H E I G H T S

REPORT DATE: July 10, 2008

CASE NO: 08-37PUD

APPLICANT: A&W Restaurants

PROPERTY OWNER: AA Buffalo, LLC

REQUEST: Preliminary and Final PUD for a drive-in/drive-through fast food restaurant on Lot 2, Bk 1, Arbor Pointe 15th Addition

HEARING DATE: July 15, 2008

LOCATION: Broderick Boulevard and Buchanan Trail

COMPREHENSIVE PLAN: Community Commercial

ZONING: Community Shopping Center (Arbor Pointe PUD)

REVIEWING DIVISIONS: Planning
Engineering

PREPARED BY: Allan Hunting
City Planner

BACKGROUND

An application has been submitted for a drive in/drive through fast food restaurant consisting of a 1,942 square foot A & W restaurant to be located on Buchanan Trail between the Ruby Tuesday restaurant and Advance Auto Parts. The restaurant would include both drive up, sit in your car with order boards service along the front of the building and a drive through window on the back side. The lot description would be Lot 2, Block 1, Arbor Pointe 15th Addition. The application consists of both the Preliminary and Final PUD Development Plan.

The site is currently zoned CSC, Community Shopping Center District and is guided CC, Community Commercial. The proposed development would be consistent with the current zoning and guiding of the property.

EVALUATION OF THE REQUEST

The following land uses, zoning districts and comprehensive plan designations surround the subject property:

North White Pines Senior Living, Wells Fargo Bank; zoned R-III and CSC; guided MDR and CC

East Advance Auto Parts; zoned CSC; guided CC

West Ruby Tuesday, Wakota Credit Union; zoned CSC; guided CC

South Walgreens; zoned CSC; guided CC

CONSISTENCY WITH ARBOR POINTE DESIGN MANUAL

Architecture. The Arbor Pointe Design Manual devotes several pages to commercial construction. Lists of approved building materials, colors, and architectural elements are included in the manual. All of the buildings approved to date have achieved that standard and all are similar in architecture. The specific PUD with Walgreens (also known as Arbor Pointe 14th Addition) was approved as a cohesive, integrated PUD where all the buildings are to have the same colors and architectural elements. The primary elements include a bulkier block at the bottom of the building with brick and stucco walls and brick pillars. Green awnings are located on the prominent or "fronts" of the buildings and parapets with raised height entrances are also incorporated into the entrances.

One of the findings referenced when the original Arbor Pointe Ordinance was approved in 1992 stated:

"That the proposed Arbor Pointe development has been designed as a complete and unified development within its own boundaries in terms of relationship of structures, patterns of circulations, visual character, interrelationship of utilities and drainage infrastructure, and overall architectural theme".

The Arbor Pointe 14th Addition project was presented by the original developer as a cohesive, unified development and that the exteriors of all the buildings would have the same architectural elements. The City Council approved the PUD for Arbor Pointe 14th Addition based on this design scheme. The staff report also discussed specifically that all subsequent buildings must be constructed of the same materials and colors to avoid future buildings using their standard corporate architecture.

The applicant has submitted an elevation drawing which shows the design, colors and materials proposed. The primary exterior materials would consist of rock face block at the base of the building, stucco panels on the left side and a hardboard panel for the "checker board" and for the vertical elements shown in the dark brown color. The colors would match the Arbor Pointe PUD with light and dark brown tones and there would be the "Arbor Pointe Green" used on the outer edge of the drive up canopy. Staff recommends the elevations be modified to extend the green band so it is continuous around the entire building. That would include adding the green band on the left side elevation, on the main building and on the rear and front elevation.

A trash enclosure is shown in the southwest corner of the site. The enclosure must be constructed of the same materials as used on the building and must have solid gate doors.

Signage. Allowed signage is based on the B-4 standards of the Zoning Code. The B-4 standards allow a total aggregate square foot sign allotment for the entire site of 2,540 square feet (1016 linear feet abutting a public road x 2.5). The maximum size of any sign is 240 square feet. The proposed elevations identify total wall signage of approximately 164 square feet including both faces of the “building wing sign”. The proposed signs comply with all signage requirements.

The site plan identifies some type of free standing sign next to the western most entrance along Broderick. This particular lot is not allowed a free standing sign. The PUD was approved with free standing signs only allowed along Concord and Broderick Boulevards. There are provisions to allow each lot with signage on the existing multi tenant monument signs.

PUD DEVELOPMENT PLAN

Setback and bulk standards. There are no required setbacks within the Arbor Pointe PUD for this lot. The lot is internal and abuts a private street. The building and parking lot separation from the street and sidewalk is acceptable.

Building Height. The proposed building would be approximately 20 feet high at its highest point which is below the maximum 35 foot allowed. The architect has indicated the roof mounted equipment would be screened by a 3 to 4 foot tall parapet wall.

Open Space. The plans show open space or green space for the lot at 14.0%. The overall Arbor Pointe 14th and 15th PUD must maintain a minimum of 30% open space. Staff is maintaining a running total of open space on each lot of the PUD to make sure the 30% is met. Including the two storm ponds on site, the amount of green space proposed for the development so far, has already exceeded the required minimum 30% open space. Staff sees no issues with the green space proposed.

Parking. Parking requirements for fast food type restaurants are one space for each 2 seats of design capacity. The restaurant is designed for a total of 48 seats in the dining room and 24 outdoor seats. Total parking required would be 36 parking stalls. The site plan identifies 36 spaces proposed which meets requirements. The site also provides parking for 10 spaces for the drive-up portion of the business.

Landscaping. The Arbor Pointe PUD Ordinance requires a minimum number of over story and ornamental trees based on the square footage of the building. A total of one over story (minimum 3 caliper inch) and one ornamental tree (minimum 1 ¼ caliper inch) is required for each 1500 square feet of building. In this case, a total of 2 over story and 2 ornamental trees are

required, plus 4 parking lot over story trees or their equivalent of ornamental or shrubs. The proposed landscape plan shows a total of 13 over story trees, 4 ornamental trees plus 95 shrubs. The trees are a mixture of deciduous and ornamental. The overstory trees proposed do not however meet the 3 caliper inch minimum as required in the Arbor Pointe PUD. Therefore the landscape plan must be modified to reflect the correct caliper inch size prior to issuance of building permits. The proposed plan complies with all other code standards for both the Zoning and Arbor Pointe ordinances.

Parking Lot and Building Lighting. The applicant has submitted an illumination plan for the parking lot lighting. The plan indicates parking lot poles with shoe-box style lights which would comply with code standards. The light illumination plan complies with maximum illumination at the street for both commercial and residential standards. All building lighting must also comply with the same standards that the source of light not be visible from the street.

Grading and Drainage. The site was mass graded and all utility stubs put in place when the road was constructed with Walgreens and the retail building. The two ponds on site were designed to handle all storm water for all vacant lots. The standard condition that all grading and utility plans be approved by Engineering before building permit issuance has been included.

ALTERNATIVES

The Planning Commission has the following actions available on the following requests:

- A. Approval.** If the Planning Commission finds the application to be acceptable, the following action should be taken:
- o Approval of the **Preliminary and Final PUD Development Plan** for a 1,942 square foot drive in/drive through fast food restaurant on Lot 2, Block 1, Arbor Pointe 15th Addition subject to the following conditions:
 1. The site shall be developed in substantial conformance with the following plans on file with the Planning Department except as may be modified by the conditions below.

Site Plan	dated 7/02/08
Grading and Drainage Plan	dated 7/02/08
Utility Plan	dated 7/02/08
Landscape/Lighting Plan	dated 6/16/08
Elevation Plan	dated 7/9/08
 2. Prior to issuance of building permits, the final grading, drainage and erosion control, and utility plans shall be approved by the Director of Public Works.

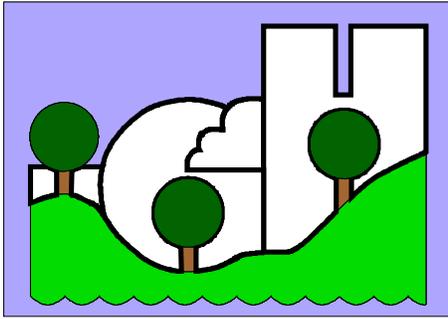
3. All parking lot lighting on site shall be a down cast “shoe-box” style and the bulb shall not be visible from property lines. Any wall lighting shall be directed such that the source of light is hooded, recessed or controlled in some manner so as not to be visible from streets.
4. The trash enclosure shall be constructed of the same materials as used on the building and must have solid gate doors.
5. The building elevations shall be modified to extend the “Arbor Pointe green” color so it is continuous around the entire building. That would include adding the green band on the left side elevation, on the main building and on the rear and front elevation.
6. This particular lot is not allowed a free standing sign. The PUD was approved with free standing signs only allowed along Concord and Broderick Boulevards. There are provisions to allow each lot with signage on the existing multi tenant monument signs.
7. The landscape plan shall be modified to increase the size of the overstory trees required by the Arbor Pointe PUD Ordinance to 3 caliper inches prior to issuance of building permits.

B. Denial. If the Planning Commission does not favor the proposed applications or portions thereof, the above request or requests should be recommended for denial. With a recommendation for denial, findings or the basis for the denial should be given.

RECOMMENDATION

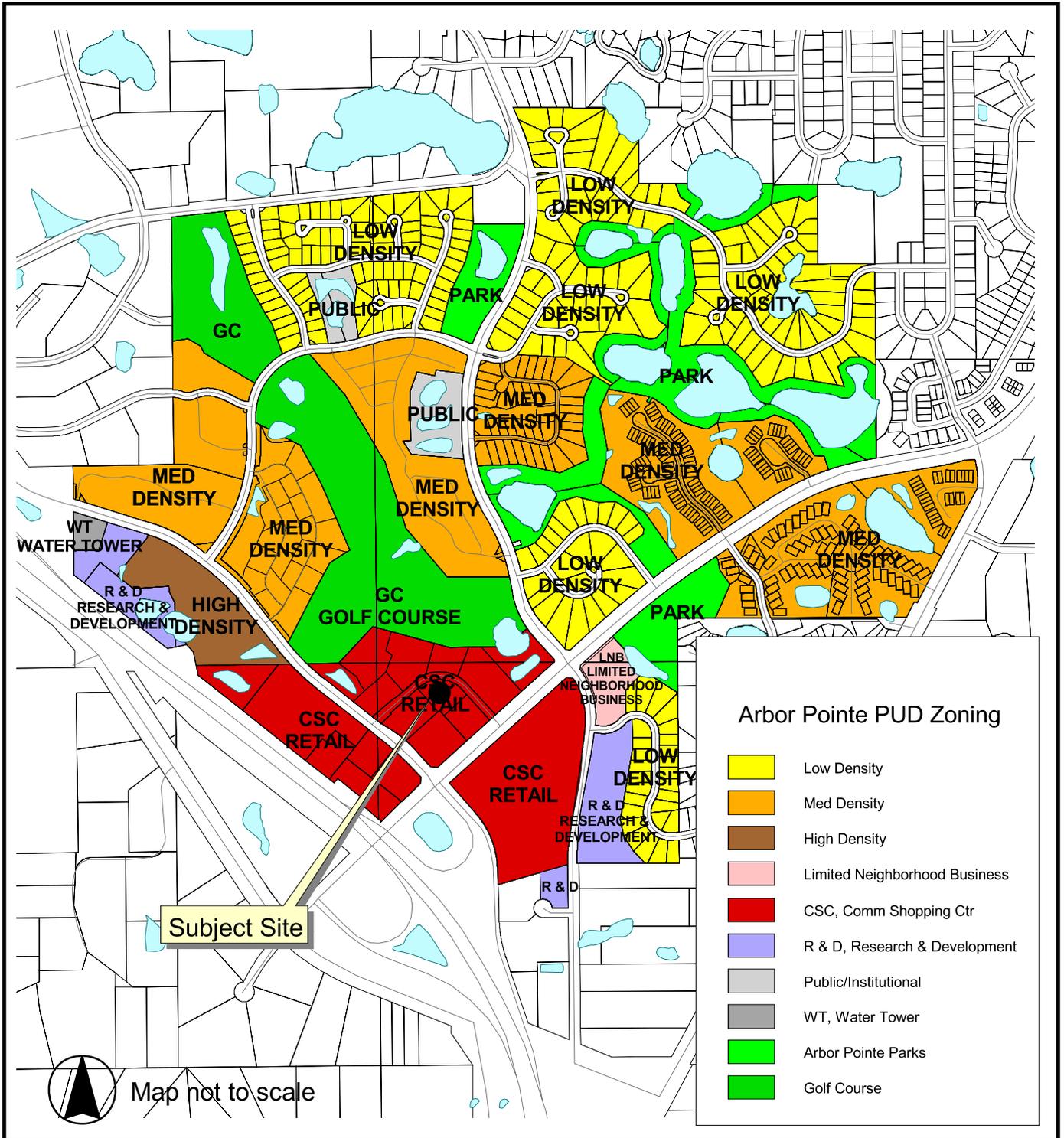
Based on the above report, Staff recommends approval of the project with the seven conditions listed.

Attachments: Arbor Pointe Zoning Map
Applicant Narrative
Site Plan
Grading and Drainage Plan
Utility Plan
Landscape Plan
Elevation Plan

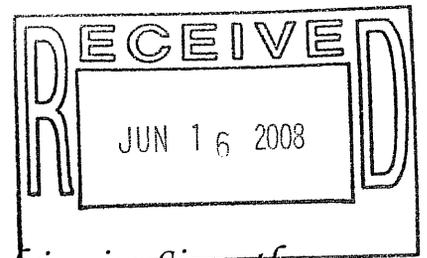


Location Map

08-37PUD



Dear City of InverGrove Hts.,



On May 1st 2000, I opened my first A&W rootbeer drive-in. Since then I have grown to proudly be the owner of two additional restaurants. One in Pine Island, Mn and an A&W / Long John Silver in Coon Rapids, Mn. My name is Patrick Nickleson and my wife who is a Registered Nurse as well as my partner in business is Patti Nickleson. I have been in the food service industry for over 30yrs, from kitchen to executive chef. We are very involved with all the restaurants, very hands on and always available to our staff.

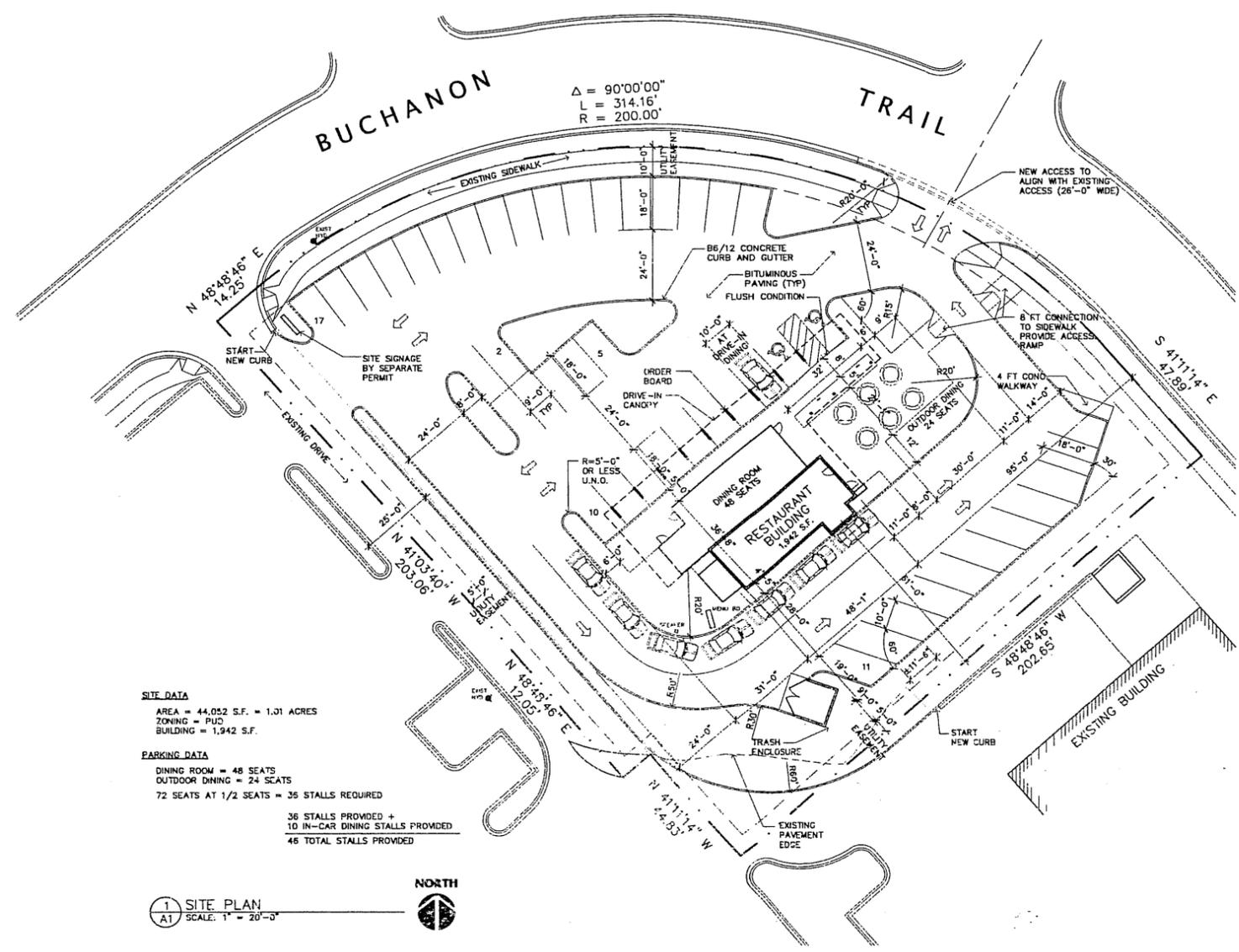
What I would like to bring to InverGrove Hts. Would be the All American Traditional A&W drive in that includes indoor dining for at least 35, 22 car hop drive in eating, as well as a drive through pick up window. I am not just interested in running a restaurant in your fine city, but would like to be involved with the community as we are in the other cities we are located in. We hold special events that include the Great A&W Bear (in person, always a hit with the kids!). Family Crusin' night that we welcome 50's car clubs to attend, we also have hula hoop contests as well as many other fun games. We have been a support of Athletic teams, Schools, Churches, as well as city events such as InverGrove Days. We have participated in parades and will have appearances from the Bear and coupons/candy to hand out.

We will help your city by opening at least 15 full time positions as well as 40+ part time positions. We welcome the youth to apply as we feel this is a great first job, involving fun as well as learning. We have been very flexible with the kids and schedules (this is always important with school age workers). We are a community oriented business. We would like to bring nostalgia to your community, with the new Senior living across the street we hope to

involve the senior citizens by bringing back some fun memories of their youth! We would offer specials to their community and it is within walking distance.

In closing, I would welcome any questions you may have and hope to become apart of your fine city. We have family in InverGrove and have always enjoyed your events. Thank you and I would like to be the first to offer you an ice cold rootbeer in a frosty mug!

*Sincerely,
Patrick and Patti Nickleson*



SITE DATA
 AREA = 44,052 S.F. = 1.01 ACRES
 ZONING = PUD
 BUILDING = 1,942 S.F.

PARKING DATA
 DINING ROOM = 48 SEATS
 OUTDOOR DINING = 24 SEATS
 72 SEATS AT 1/2 SEATS = 36 STALLS REQUIRED
 36 STALLS PROVIDED +
 10 IN-CAR DINING STALLS PROVIDED
 46 TOTAL STALLS PROVIDED

1 SITE PLAN
 A1 SCALE: 1" = 20'-0"



LAMPERT ARCHITECTS
 13837 NE Lincoln Street
 Ham Lake, MN 55304
 Phone: 763.755.1211 Fax: 763.757.2848
 lampert@lampert-arch.com

ARCHITECT CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRELIMINARY NOT FOR CONSTRUCTION

VANGUARD CONSTRUCTION INC.
 2350 WYCLIFF STREET - SUITE 11
 ST. PAUL, MINNESOTA 55114
 (651) 644-8345
 FAX (651) 644-7184

A & W DRIVE-IN RESTAURANT
 Inver Grove Heights, MN

Copyright 2008
 Leonard Lampert Architects, P.A.
 Project Designer: JAMES B
 Drawn By: JRB
 Checked By:

Revisions

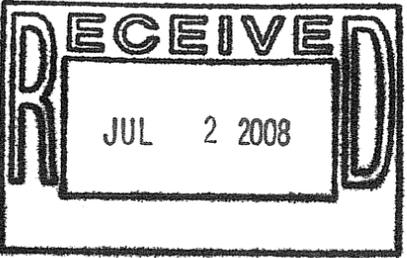
6/12/08	PRELIMINARY
6/16/08	CITY SUBMITTAL

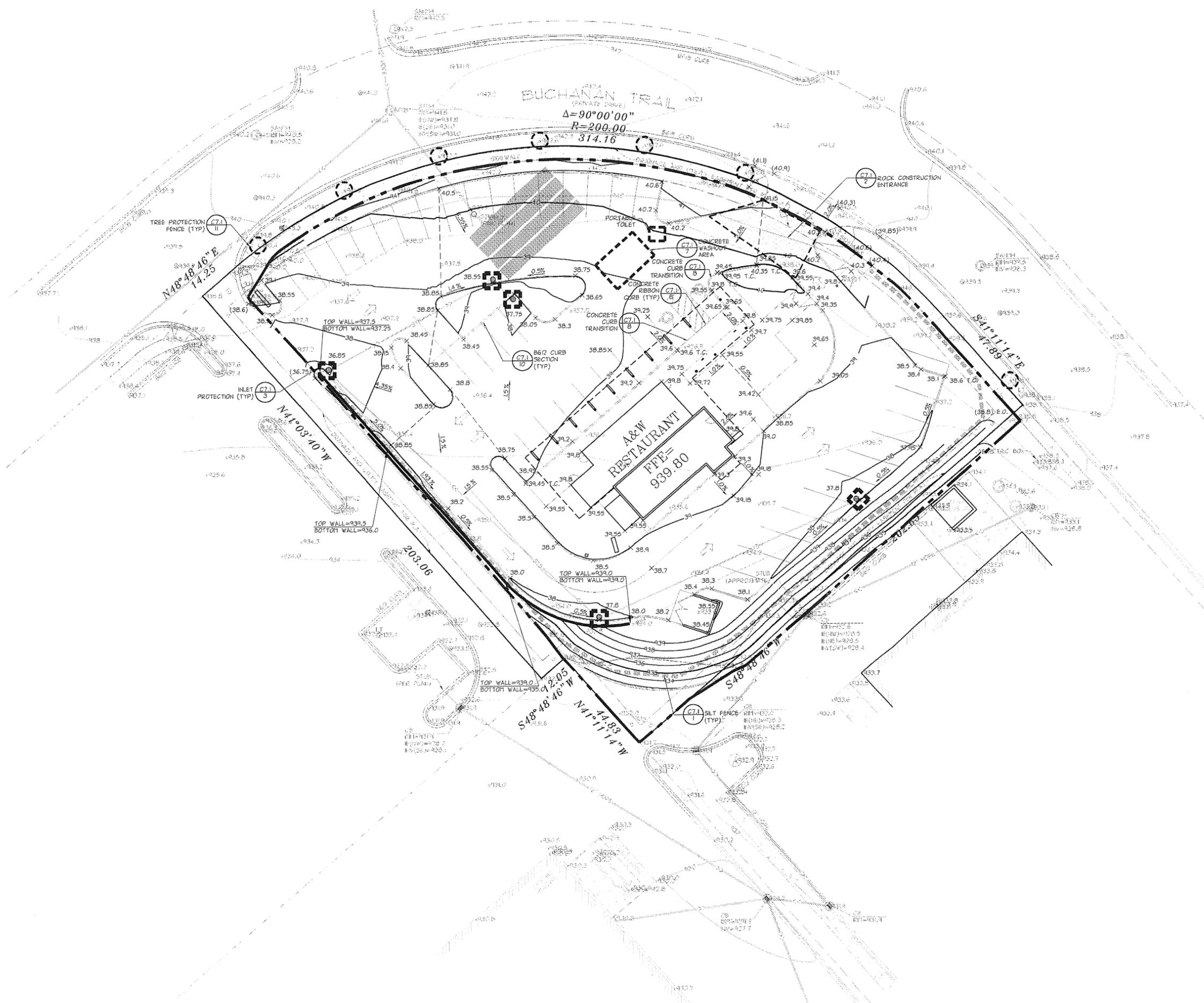
SITE PLAN

Sheet Number

A1

Project No. 080521-3





GRADING NOTES

- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING GRADING.
- REFER TO THE GEOTECHNICAL REPORT, PROVIDED BY PROFESSIONAL ENGINEERING CONSULTANTS, FOR ADDITIONAL INFORMATION ON BACKFILL MATERIAL AND GROUNDWATER CONDITIONS.
- REMOVE TOPSOIL FROM GRADING AREAS AND STOCKPILE SUFFICIENT QUANTITY FOR REUSE. MATERIALS MAY BE MINED FROM LANDSCAPE AREAS FOR USE ON SITE AND REPLACED WITH EXCESS ORGANIC MATERIAL WITH PRIOR OWNER APPROVAL.
- REMOVE SURFACE AND GROUND WATER FROM EXCAVATIONS. PROVIDE INITIAL LIFTS OF STABLE FOUNDATION MATERIAL IF EXPOSED SOILS ARE WET AND UNSTABLE.
- REFER TO STRUCTURAL SPECIFICATIONS FOR EARTHWORK REQUIREMENTS FOR BUILDING PADS.
- AN INDEPENDENT TESTING FIRM SHALL VERIFY THE REMOVAL OF ORGANIC AND UNSUITABLE SOILS, SOIL CORRECTION, AND COMPACTION AND PROVIDE PERIODIC REPORTS TO THE OWNER.
- PLACE AND COMPACT FILL PER GEOTECHNICAL RECOMMENDATIONS.
- COMPACT MATERIAL IN PAVED AREAS PER THE GEOTECHNICAL REPORT PROVIDED BY OTHERS.
- SPOT ELEVATIONS AT CURBLINE INDICATE FLOWLINES UNLESS NOTED OTHERWISE. SEE SHEET C4.1 FOR RM ELEVATIONS OF CATCH BASINS.
- ALL PAVEMENT SECTIONS SHALL BE PROVIDED BY THE GEOTECHNICAL ENGINEER PRIOR TO BIDDING AND CONSTRUCTION.

RETAINING WALL NOTES

- PROVIDE STRUCTURAL DESIGN OF RETAINING WALLS, FOLLOWING LANDFORM RETAINING WALL SPECIFICATIONS FOR MINIMUM DESIGN AND PERFORMANCE. PROVIDE CONSTRUCTION OF WALLS IN ACCORDANCE WITH APPROVED DESIGN. LANDFORM'S RETAINING WALL SPECIFICATIONS PROVIDED UPON REQUEST.
- CONFIRM ARCHITECTURAL REQUIREMENTS FOR WALL UNITS WITH OWNER.
- SUBMIT DESIGN TO CITY FOR APPROVAL PRIOR TO BUILDING PERMIT ISSUANCE.
- PROVIDE COORDINATION AND ASSURANCE THAT RELATED WORK CONSTRUCTED WITHIN THE REINFORCED EARTH ZONE, INCLUDING FENCES, UNDERGROUND UTILITIES, GUARD RAILS, ETC., IS IN ACCORDANCE WITH APPROVED DESIGN AND DOES NO DAMAGE TO REINFORCING ELEMENTS OF THE RETAINING WALL.

EROSION PREVENTION AND SEDIMENT CONTROL NOTES

- INSTALL PERIMETER SEDIMENT CONTROLS PRIOR TO BEGINNING WORK AND MAINTAIN FOR DURATION OF CONSTRUCTION. REMOVE CONTROLS AFTER AREAS CONTRIBUTING RUN OFF ARE PERMANENTLY STABILIZED AND DISPOSE OF OFF SITE.
- LIMIT SOIL DISTURBANCE TO THE GRADING LIMITS SHOWN. SCHEDULE OPERATIONS TO MINIMIZE LENGTH OF EXPOSURE OF DISTURBED AREAS.
- MANAGEMENT PRACTICES SHOWN ARE THE MINIMUM REQUIREMENT. INSTALL AND MAINTAIN ADDITIONAL CONTROLS AS WORK PROCEEDS TO PREVENT EROSION AND CONTROL SEDIMENT CARRIED BY WIND OR WATER.
- TEMPORARY SEED, TEMPORARY SOD, TEMPORARY MULCH AND TEMPORARY FERTILIZER SHALL MEET THE FOLLOWING SPECIFICATIONS, AS MODIFIED.

ITEM	SPECIFICATION NUMBER
SOD	INDOT 3878
SEED	INDOT 3876
MULCH	TYPE 50 @ 40 LB/AC
	TYPE 110A @ 60 LB/AC
FERTILIZER	INDOT 3882
GENERAL PLACEMENT	INDOT 3881
	INDOT 2575
- SEE LANDSCAPING PLAN, PROVIDED BY OTHERS, FOR PERMANENT TURF ESTABLISHMENT.
- SCRAPE ADJACENT STREETS CLEAN DAILY AND SWEEP CLEAN AS REQUIRED.

LEGEND

- CONSTRUCTION LIMITS WITHIN PROPERTY LINE UNLESS NOTED OTHERWISE.
- TW XXX.XX TOP OF WALL
- BW XXX.XX BOTTOM OF WALL

NPDES AREA SUMMARY

	EXISTING	PROPOSED
PERVIOUS	0.88 ACRES	0.14 ACRES
IMPERVIOUS	0.13 ACRES	0.87 ACRES
TOTAL	1.01 ACRES	1.01 ACRES

NPDES DISTURBED AREA = 0.92 ACRES

PROJECT
A&W RESTAURANT
INVER GROVE

SHEET 1
SHEET TITLE
C3.1 GRADING, DRAINAGE, AND UTILITY
C4.1 UTILITY
C7.1 CONSTRUCTION DETAILS

REVISION

DATE	REVISION
16 JUN 2008	CITY SUBMITTAL
2 JUL 2008	CITY RESUBMITTAL

PROJECT MAN

BY VAB
CERTIFIED

I hereby certify that this plan was prepared, approved, and sealed by a Professional Engineer under the laws of the State of Minnesota.
NOT CONSIDERED
Signature: _____
Registration No.: _____
I am a duly licensed Professional Engineer in the State of Minnesota.
If the signature, seal, or stamp is illegible, this sheet has been prepared and is no longer valid. THE ENGINEER TO REQUEST.

CITY SUBMITTAL
JULY 2

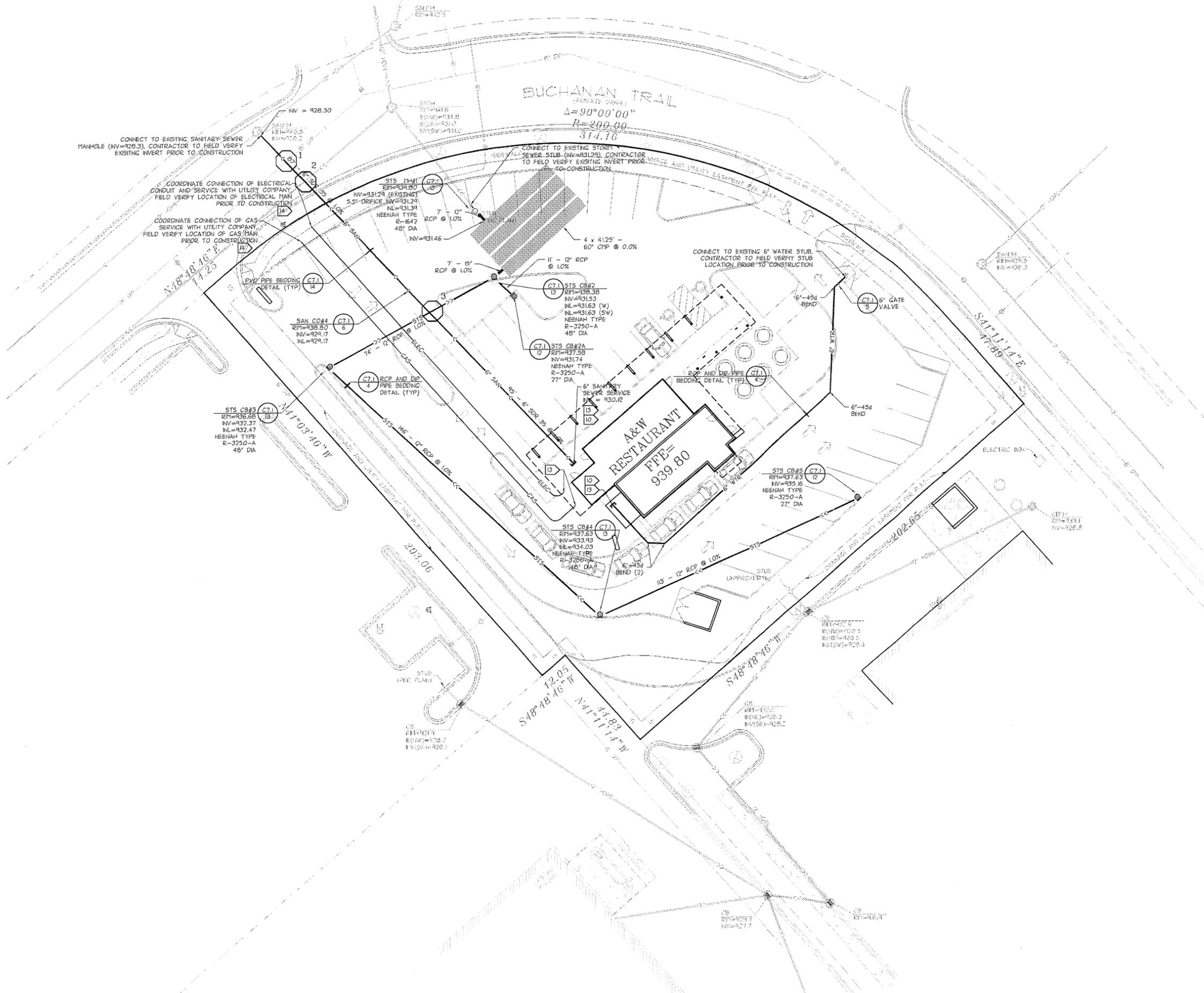
LAND
From Site to Finish

800 C Butler Square
100 North Sixth Street
Minneapolis, MN 55403

FILE NAME
PROJECT NO.

GRADING, AND EROSION





- ### UTILITY NOTES
- PIPE MATERIALS
 - WATERMAN SANITARY SEWER: DIP CLASS 52, PVC SDR 35
 - STORM SEWER: RCP CLASS 5
 - CONTACT CORNER STATE ONE CALL FOR EXISTING UTILITY LOCATIONS 72-HOURS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES BETWEEN LOCATED UTILITY AND THE EXISTING CONDITIONS LAN SHOULD BE NOTED AND FORWARDED TO THE ENGINEER.
 - COORDINATE WITH PRIVATE UTILITIES TO PROVIDE ELECTRIC, NATURAL GAS, AND COMMUNICATIONS SERVICES TO BUILDING.
 - PROVIDE MEANS AND MEASURES TO PROTECT ADJACENT PROPERTY FROM DAMAGE DURING UTILITY INSTALLATION.
 - PIPE LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE OR END OF END SECTION.
 - ADJUST ALL STRUCTURES TO FINAL GRADE WHERE DISTURBED. COMPLY WITH REQUIREMENTS OF UTILITY OWNER. MEET REQUIREMENTS FOR TRAFFIC LOADING IN PAVED AREAS.
 - CONNECT TO CITY UTILITIES IN ACCORDANCE WITH INVER GROVE HEIGHTS, MN STANDARDS.
 - MAINTAIN 7.5 FEET OF COVER ON WATER.
 - DEFLECT WATER TO MAINTAIN 18-INCH MINIMUM SEPARATION AT SEWER CROSSINGS. CENTER PIPE LENGTHS TO PROVIDE GREATEST SEPARATION BETWEEN JOINTS.
 - SANITARY SEWER AND WATER SERVICES TO BE CONSTRUCTED BY CONTRACTORS AS SHOWN. CONTRACTOR TO BRING WATER SERVICE AND SEWER SERVICES INTO BUILDING PER MECHANICAL DRAWINGS.
 - COORDINATE WITH LANDSCAPE PLAN, PROVIDED BY OTHERS, AND IRRIGATION CONTRACTOR TO PROVIDE FOUR (4") SCHEDULE 40 PVC LAWN SPRINKLER SLEEVES AS REQUIRED.
 - COORDINATE WITH ELECTRICAL SITE PLAN, PROVIDED BY OTHERS, AND ELECTRICAL CONTRACTOR TO PROVIDE CONDUITS AS NECESSARY FOR SITE LIGHTING.
 - COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATIONS OF SERVICE CONNECTIONS AND CONTINUATION OF SERVICES WITHIN BUILDING.
 - PROVIDE CONDUITS FOR CABLE TELEVISION, TELEPHONE, AND OTHER ELECTRONIC COMMUNICATIONS IN ACCORDANCE WITH THE UTILITY COMPANIES REQUIREMENTS.
 - VERIFY ALL CONNECTIONS TO EXISTING UTILITY SERVICES PRIOR TO CONSTRUCTION.
 - DIAMETERS OF UTILITY STRUCTURES ARE SHOWN FOR REFERENCE ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE STRUCTURES OF A SIZE THAT ARE STRUCTURALLY SOUND AND MEET THE REQUIREMENTS OF ALL GOVERNING AUTHORITIES. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL STRUCTURES TO THE ENGINEER FOR REVIEW PRIOR TO RELEASING THE STRUCTURES FOR FABRICATION. THE ENGINEER'S REVIEW OF SHOP DRAWINGS SHALL NOT RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITIES UNDER THIS CONTRACT.

- ### UTILITY CROSSINGS
- CROSSING 1
 - 8" DP (WATER) INV.=920.00
 - 6" SDR 35 (SAN) INV.=928.37
 - CROSSING 2
 - 12" HDPE (STORM) INV.=930.66
 - 6" SDR 35 (SAN) INV.=928.42
 - CROSSING 3
 - 12" RCP (STORM) INV.=931.89
 - 6" SDR 35 (SAN) INV.=929.35

UTILITY CONTACTS

COMPANY/SERVICE	ADDRESS	CONTACTS
PLANNING DEPARTMENT CITY OF INVER GROVE HEIGHTS	8150 BARBARA AVE INVER GROVE HEIGHTS, MN 55077	HEATHER BOTTEN (651) 450-2569 TELE
ENGINEERING DEPARTMENT CITY OF INVER GROVE HEIGHTS	8150 BARBARA AVE INVER GROVE HEIGHTS, MN 55077	STEVE DODGE (651) 450-2541 TELE
BUILDING DEPARTMENT CITY OF INVER GROVE HEIGHTS	8150 BARBARA AVE INVER GROVE HEIGHTS, MN 55077	(651) 450-2580 TELE
FIRE MARSHAL CITY OF INVER GROVE HEIGHTS	8150 BARBARA AVE INVER GROVE HEIGHTS, MN 55077	JEFF SCHADDEG (651) 450-2547 TELE
WASTEWATER	METROPOLITAN COUNCIL	SANDA SELBY (651) 602-1005 TELE
WATER INVER GROVE HEIGHTS PUBLIC WORKS	8150 BARBARA AVE INVER GROVE HEIGHTS, MN 55077	GARY JOHNSON (651) 450-2571 TELE
ELECTRIC DAKOTA ELECTRIC	4300 220TH ST. W FARGINGTON, MN 55024	COREY WILLERT (651) 463-6262 TELE
GAS XCEL ENERGY	1700 E. COUNTY RD E WHITE BEAR LAKE, MN 55110	COLLETTE JUREK (651) 458-1228 TELE
TELEPHONE QWEST	390 COMMERCE DR. WOODBURY, MN 55125	DAN BEHR (651) 730-1365 TELE

City of Inver Grove Heights
8150 Barbara Avenue
Inver Grove Heights, MN 55077
TEL: (612) 450-2500

PROJECT MANAGER
BY: [Signature]

REVISION
DATE: 16 JUN 2008
BY: [Signature]
REVISION: CITY SUBMITTAL
DATE: 2 JUL 2008
BY: [Signature]

NOT FOR CONSTRUCTION
Signature: [Signature]
Registration No. [Number]
I hereby certify that this plan was prepared in accordance with the requirements of the Minnesota Statutes, and that I am a duly licensed Professional Engineer in the State of Minnesota.

IF THE SIGNATURE, SEAL OR FOUR CORNERS ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED FROM A COPY OF THE ORIGINAL SHEET AND IS NOT VALID FOR CONSTRUCTION.

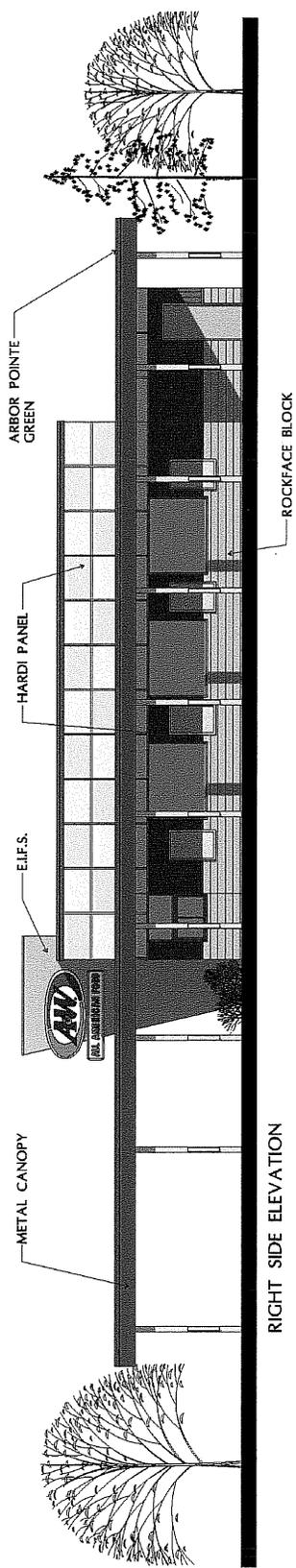
CITY SUBMITTAL
JULY 2008

LAND
From Site to Finish

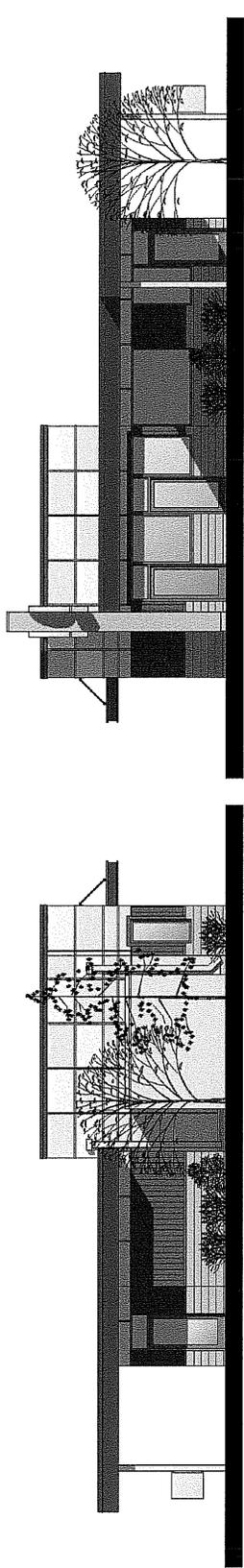
800 C Butler Square
100 North Sixth Street
Minneapolis, MN 55403

FILE NAME
PROJECT NO.

811
NORTH

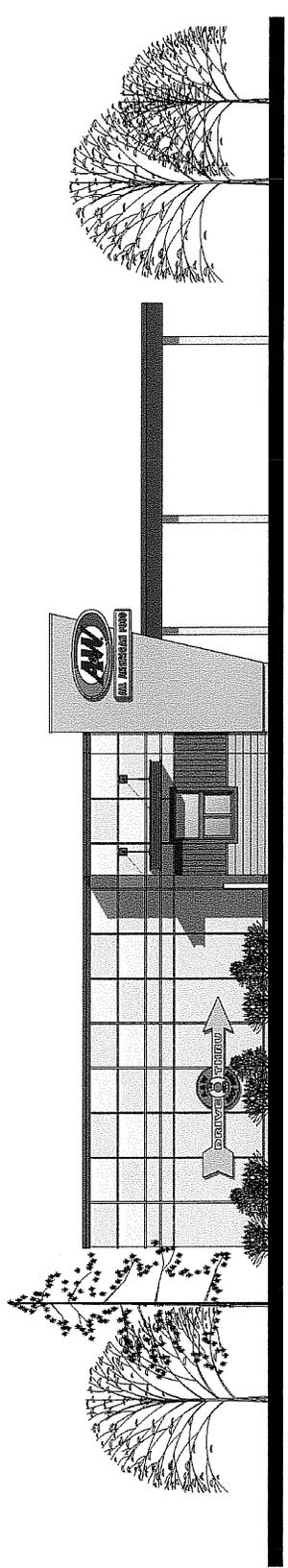


RIGHT SIDE ELEVATION



REAR ELEVATION

FRONT ELEVATION



LEFT SIDE ELEVATION

A & W DRIVE-IN RESTAURANT

Inver Grove Heights, Minnesota

CITY OF INVER GROVE HEIGHTS

REQUEST FOR COUNCIL ACTION

CITY OF INVER GROVE HEIGHTS; Consider the second reading of an Ordinance Amendment to amend Section 515.80 Subd. 8. regarding the allowed maximum impervious coverage.

Meeting Date: July 28, 2008
 Item Type: Regular Agenda
 Contact: Jenn Emmerich; 651.450.2553
 Prepared by: Jenn Emmerich, Assistant City Planner
 Reviewed by:

Fiscal/FTE Impact:	
<input checked="" type="checkbox"/>	None
<input type="checkbox"/>	Amount included in current budget
<input type="checkbox"/>	Budget amendment requested
<input type="checkbox"/>	FTE included in current complement
<input type="checkbox"/>	New FTE requested – N/A
<input type="checkbox"/>	Other

PURPOSE/ACTION REQUESTED

- a) Consider the second reading of an Ordinance Amendment that would allow a maximum of 20% impervious coverage in the R-1A District, 25% in the R-1B District and 30% in the R-1C District and require a Conditional Use Permit to exceed the maximum allowed impervious coverage for lots that don't meet the minimum lot size.
- Requires 3/5th's vote.

SUMMARY

Background The City Council directed staff to hold a public hearing regarding changing the maximum allowed maximum impervious coverage in the “R” Zoning Districts. This request arose during the discussion of recent variance requests to exceed the maximum impervious coverage. Planning Commission held a public hearing on July 1, 2008 and the first reading of the ordinance amendment was heard at the July 14, 2008 City Council meeting.

Analysis At the last Council meeting, Council asked Engineering Staff to review the proposed ordinance. Engineering staff will perform a GIS analysis of several developed plats to calculate the actual percentage of impervious area. In addition, the storm water design calculations for several recent developments will be reviewed to determine the percent impervious coverage assumed in the design o the storm water system. This work will be completed before the August 25 Council meeting. Therefore staff is requesting that the ordinance amendment be tabled until that meeting.

RECOMMENDATION

Planning Staff Recommends tabling of this ordinance amendment until the August 25, 2008 City Council meeting.

Planning Commission Recommends approval of the request (8-0).

Parks and Recreation Not applicable.

Attachment Ordinance Amendment Resolution

CITY OF INVER GROVE HEIGHTS

DAKOTA COUNTY, MINNESOTA

ORDINANCE NO. _____

AN ORDINANCE AMENDING SECTION 515.80 SUBD. 8. (ZONING CODE – “R-1A, B, C” ONE-FAMILY RESIDENTIAL DISTRICT) OF THE CITY CODE RELATING TO ALLOWABLE MAXIMUM IMPERVIOUS COVERAGE IN THE “R” DISTRICTS

The City of Inver Grove Heights hereby ordains as follows:

515.80 Subd. 8. “R-1A, B, C” One-Family Residential District.

B. Bulk Standards

1. Minimum Standards*

Impervious Surface (max.)***	lesser of 30%*** or
R-1A	4,000 s.f. 20%
R-1B	25%
R-1C	30%

* All standards are minimum requirements unless noted

** An attached garage with no living space above, below, in front of or behind it, it may meet the minimum side yard setback standard for accessory structures found in Subparagraph 2 below rather than the larger setback required of principle structures as found in this table.

*** For lots that do not meet the minimum lot size requirement, a Conditional Use Permit, may be obtained to exceed the impervious surface maximum if the following criteria are met:

1. A Storm Water Management System shall be constructed within the property that meets the Best Management Practices design criteria as set forth in the Northwest Area Ordinances and Storm Water Manual.
2. The Storm Water Management System and Grading Plan (including necessary details for construction, showing proper location, material, size, and grades) shall be approved by the Engineering Division prior to ground disturbance or installation of the facility.
3. The Storm Water Management System is considered a private system and the responsibility of maintenance is that of the owner.
4. An escrow or fee, to be determined by the City Engineer, shall be submitted to the City with the Storm Water Management System submittal. The final amount and submittal process shall be determined by the City by the time the Owners are ready to submit the Storm Water Management System and Grading Plan.
5. The soils shall be tested to determine the infiltration capacity to insure the storm water maintenance facility performs and functions within the assumed design parameters.

¹ Additional Minimum Lot Area Requirements:

SECTION 2. EFFECTIVE DATE. This ordinance shall be in full force and effect from and after its passage and publication according to law.

Passed this ____ day of _____, 2008.

Ayes ____

Nays ____

George Tourville, Mayor

Attest:

Melissa Rheame, Deputy Clerk

CITY OF INVER GROVE HEIGHTS

REQUEST FOR COUNCIL ACTION

Charles Cudd - Case No. 08-30V

Meeting Date: July 28, 2008
 Item Type: Regular
 Contact: Heather Botten 651.450.2569
 Prepared by: Heather Botten, Associate Planner
 Reviewed by:  Planning

Fiscal/FTE Impact:	
<input checked="" type="checkbox"/>	None
<input type="checkbox"/>	Amount included in current budget
<input type="checkbox"/>	Budget amendment requested
<input type="checkbox"/>	FTE included in current complement
<input type="checkbox"/>	New FTE requested – N/A
<input type="checkbox"/>	Other

PURPOSE/ACTION REQUESTED

Consider a Resolution relating to a **Variance** to exceed the impervious surface requirements to construct a house and driveway for the property located at 11662 Azure Lane.

- Requires a 3/5ths vote.
- 60-day deadline: August 1, 2008 (1st 60-days)

SUMMARY

The applicant is requesting a variance to exceed the maximum impervious surface standards to construct about 4,744 square feet of impervious surface on the R-1C zoned lot. The request is for the construction of a new home and driveway set back 51 feet from the front property line. The proposed footprint of the home and garage is about +/- 3,200 square feet and the driveway and sidewalk is about +/-1,500 square feet.

There is not a physical or property-related hardship for this request. The proposed home is too large for the lot and zoning district it is in. The lot meets the minimum lot size and width requirements. The developer demonstrated a 60' x 50' building pad on the site, setback 30 feet from the property line during the development approvals; this configuration meets the impervious surface requirements. The applicant could construct a home with a smaller footprint, allowing a shorter front yard setback, eliminating the need for a variance. The applicants are not being denied reasonable use of the property as a single family residential home, that meets the impervious surface standards, does fit on the lot.

Planning Staff: Recommend denial of the request as presented.

Planning Commission: Also recommended denial of the variance at their July 1, 2008 meeting (6-0).

Exhibits: Variance Denial Resolution
 Planning Commission Recommendation
 E-mail from neighbor opposing the request
 Planning Report

**CITY OF INVER GROVE HEIGHTS
DAKOTA COUNTY, MINNESOTA**

RESOLUTION NO. _____

**RESOLUTION DENYING A VARIANCE TO EXCEED THE ALLOWED MAXIMUM
IMPERVIOUS COVERAGE ON AN R-1C ZONED LOT.**

**CASE NO. 08-30V
(Cudd)**

Property located at 11662 Azure Lane and legally described as follows:

Lot 3, Block 5 of Woodland Preserve of Dakota County, Minnesota

WHEREAS, an application has been received for a Variance from the maximum allowed impervious coverage standard to construct a new home and driveway;

WHEREAS, the afore described property is zoned R-1C, Single Family Residential District;

WHEREAS, a public hearing was held and the City of Inver Grove Heights Planning Commission reviewed the request on July 1, 2008 in accordance with City Code Section 515.40, Subd. 3C;

WHEREAS, a Variance may be granted by the City Council from the strict application of the provisions of the Zoning Code (City Code Section 515) and conditions and safeguards imposed in the variance so granted where practical difficulties or particular hardships result from carrying out the strict letter of the regulations of the Zoning Code, as per City Code Section 515.40, Subd. 3A;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF INVER GROVE HEIGHTS, that the Variance to exceed the maximum allowed impervious surface is hereby denied based on the following findings of fact:

1. There is not a physical or property-related hardship for this request as the size of the proposed home would serve as a convenience to the property owner.
2. The lot does not have any unique conditions that preclude the applicants from reasonable use of their property.
3. Approval of the variance would set a precedent for other new construction homes exceeding the impervious surface requirements

BE IT FURTHER RESOLVED that the Deputy Clerk is hereby authorized and directed to record a certified copy of this Resolution at the Dakota County Recorder's Office.

Adopted by the City Council of Inver Grove Heights this _____ day of _____ 2008.

George Tourville, Mayor

Ayes:

Nays:

ATTEST:

Melissa Rheume, Deputy Clerk

**RECOMMENDATION TO
CITY OF INVER GROVE HEIGHTS**

TO: Mayor and City Council of Inver Grove Heights
FROM: Planning Commission
DATE: July 1, 2008
SUBJECT: **CHARLES CUDD CO – CASE NO. 08-30V**

Reading of Notice

Commissioner Simon read the public hearing notice to consider the request for a variance from the impervious surface requirements to construct a house and driveway at 11662 Azure Lane. 7 notices were mailed.

Presentation of Request

Heather Botten, Associate Planner, explained the request as detailed in the report. She advised that the applicant was aware of the City Council's direction to review the impervious surface standards but wanted to pursue the variance request. Ms. Botten advised that staff reviewed the request based on the existing code requirements. She stated that the applicant is requesting a variance to exceed the maximum impervious surface standards to construct 4,744 square feet of impervious surface on the R-1C zoned lot whereas only 4,000 square feet is allowed. She advised that the request is for the construction of a new home and driveway set back 51 feet from the front property line. She also stated the developer demonstrated a 60' x 50' building pad on the site, setback 30 feet from the property line during the development approvals; this configuration meets the impervious surface requirements. Ms. Botten advised that staff feels the variance criteria has not been met and that approval could set a precedent. Therefore staff recommends denial of the request.

Commissioner Simon asked if staff heard from any neighbors, to which Ms. Botten replied she had not.

Mr. Hunting advised he received one call from a neighbor with general questions about the request.

Chair Bartholomew noted that the report states that the request could be found contrary to the intent of the zoning code since it exceeds the impervious surface requirements that are in place to help regulate the stormwater runoff and infiltration on a site which impacts the abutting property owners and development it is in. He asked if further similar issues could arise if the previously discussed impervious surface requirements were changed to 30% for R-1C as recommended.

Ms. Botten stated that is something that will be reviewed by the Engineering Department. She advised that typically a development is given a sliding scale of maximum impervious surface allowed for the entire development, including road construction.

Commissioner Schaeffer asked what would occur if the applicant were denied at this point and the ordinance was then changed as recommended resulting in the applicants' proposal fitting within the impervious surface restrictions.

Ms. Botten replied that the applicant could then proceed with his construction as proposed since a variance would no longer be needed.

Opening of Public Hearing

John Sonnek, representing Charles Cudd Company, asked how long it would take for the proposed zoning code amendment to go through three readings, to which Chair Bartholomew replied it typically took a month and a half.

Mr. Sonnek stated the reason they decided to proceed with the variance was to allow them to start construction as soon as possible as he was of the impression that it would take three months to go through the Council process. Mr. Sonnek stated they were proposing only 16.3% of impervious coverage which would be below the proposed requirements for the R-1A, B or C Districts. Mr. Sonnek advised that they made the house as small as possible, but that the narrow lot frontage of this particular lot necessitated angling the garage and setting the house back further on the lot which increased the driveway coverage.

Chair Bartholomew stated that he did not see a hardship, and advised the applicant that the Planning Commission was bound by ordinance to look for a hardship and that it would be difficult for them to recommend approval without one.

Mr. Sonnek asked if the City was opposed to larger homes.

Commissioner Schaeffer replied that it was not a matter of the size of the house but rather the total impervious surface. He advised that it was possible for the applicant to actually build a larger house if they were to position it closer to the road, therefore reducing the driveway area. Commissioner Schaeffer stated he did not find a hardship.

Planning Commission Recommendation

Motion by Commissioner Simon, second by Commissioner Schaeffer, to deny the request for a variance from the impervious surface requirements to construct a house and driveway for the property located 11662 Azure Lane, based on lack of hardship.

Motion carried (6/0). This matter goes to City Council on July 14, 2008.

Heather Botten

Subject: FW: VArience request for property at 11662 Azure LN**From:** MATTHEW VATTER [mailto:vattermc@msn.com]
Sent: Sunday, July 06, 2008 12:41 PM
To: Allan Hunting
Subject: VArience request for property at 11662 Azure LN

Sir,
I sent the email below on the 28th. I did not see that I had entered the email address in error until just now (undeliverable notice). I understand the deadline to comment was 1 July. But I ask you to consider my input prior to your decision. Thanks.

Matt Vatter

Mr Hunting,

My wife and I own the property adjacent to 11662 Azure Ln for which the variance to impervious service requirements is being requested. Our primary concern regarding this new home is the placement on the lot. The current plan has the house at the very back of the lot causing the driveway length to exceed what is common to homes in this development. I believe this is one reason for the variance request. The positioning of the house so far back on the lot positions the proposed garage adjacent to our patio, eliminating any view of trees and backyards, as is normally the case in our neighborhood. Should the structure be placed more forward, the need for a long driveway would be eliminated and likely negate the need for a variance.

We do not support the request with the house in its current position. Should the house be repositioned so as better align the back yards and maintain the alignment of homes on our street, and still require the variance for a patio or swimming pool, we'd have no objection. Again, our concern is that the house is positioned so far back in the lot.

Thank you for considering our concerns.

Matt and Cris Vatter

11656 Azure Ln., IGH, MN 55077

651-423-0506

Use video conversation to talk face-to-face with Windows Live Messenger. [Get started.](#)

SPECIFIC REQUEST

To develop the property as proposed, the applicant has requested a variance to exceed the maximum allowed impervious coverage on a lot in accordance with the Inver Grove Heights Zoning Ordinance, Section 515.80 Subd.8.B.1.

SURROUNDING USES

The subject site is surrounded by single family homes, zoned R-1C, Single Family Residential and guided, LDR, Low Density Residential.

EVALUATION OF REQUEST:

As indicated earlier, the applicant is requesting a variance to exceed the maximum impervious coverage on an R-1C zoned lot to construct a new home and driveway. City Code Section 515.59, states that the City Council may grant variances in instances where practical difficulties exist or where a hardship would be imposed upon the property owner if the code were strictly enforced. In order to grant the requested variances, the City Code identifies several criteria which are to be considered. The applicant's request is reviewed below against those criteria.

- a. *Special conditions apply to the structure or land in question which are peculiar to such property or immediately adjoining property, and do not apply generally to other land or structures in the district in which said land is located.*

The general intent of this standard is to limit the precedent that could be set if the variance was granted. The property does not have any special conditions that make it unique. The proposed home is too large for the lot and R-1 zoning district. The applicant could construct a home with a smaller footprint, allowing a shorter front yard setback, eliminating the need for a variance. The applicants are not being denied reasonable use of the property as a single family residential home, that meets the impervious surface standards, does fit on the lot.

- b. *The granting of the application will not be contrary to the intent of the Zoning Code or the Comprehensive Plan.*

The application is not contrary to the Comprehensive Plan as the future land use is Low Density Residential. The request could be found contrary to the intent of the Zoning Code as it exceeds the impervious surface requirements that are in place to help regulate the stormwater runoff and infiltration on a site which impacts the abutting property owners and development it is in.

- c. *The granting of such variance is necessary as a result of a demonstrated undue hardship or difficulty, and will not merely serve as a convenience to the applicant.*

There is not a physical or property-related hardship for this request as the size of the proposed home would serve as a convenience to the property owner. The proposed home is too large for the lot and zoning district it is in. The lot meets the minimum lot size and width requirements. The developer demonstrated a 60' x 50' building pad on the site, setback 30 feet from the property line during the development approvals; this configuration meets the impervious surface requirements.

d. Economic considerations alone do not constitute an undue hardship.

Economic considerations do not appear to be a basis for this request.

ALTERNATIVES

The Planning Commission has the following alternatives available for the requested action:

A. Approval. If the Planning Commission favors the requested Variance, the Commission should recommend approval of the request with at least the following conditions:

1. The site shall be developed in substantial conformance with the site plan on file with the Planning Department dated 5-16-08.
2. A Storm Water Management System shall be constructed within the property that meets the Best Management Practices design criteria as set forth in the Northwest Area Ordinances and Storm Water Manual.
3. The Storm Water Management System and Grading Plan (including necessary details for construction, showing proper location, material, size, and grades) shall be approved by the Engineering Division prior to ground disturbance or installation of the facility.
4. An escrow or fee of \$300, more or less, shall be submitted to the City with the Storm Water Management System submittal. The final amount and submittal process shall be determined by the City by the time the Owners are ready to submit the Storm Water Management System and Grading Plan.
5. The design infiltration rates for the Storm Water Management System shall follow the supplemental guidelines to the Northwest Area Storm Water Manual letter dated June 24, 2008. A City approved soil infiltration rate field test, at the expense of the owner, may be necessary.

Hardship: A hardship must be stated if approval of the variance is recommended.

B. Denial. If the Planning Commission does not favor the proposed application, the above request should be recommended for denial which could be based on the following rationale:

1. The size and setback of the home would be a convenience to the applicant not a necessity.
2. Lack of hardship.
3. Approval of the variance would set a precedent for other new construction homes exceeding the impervious surface requirements.

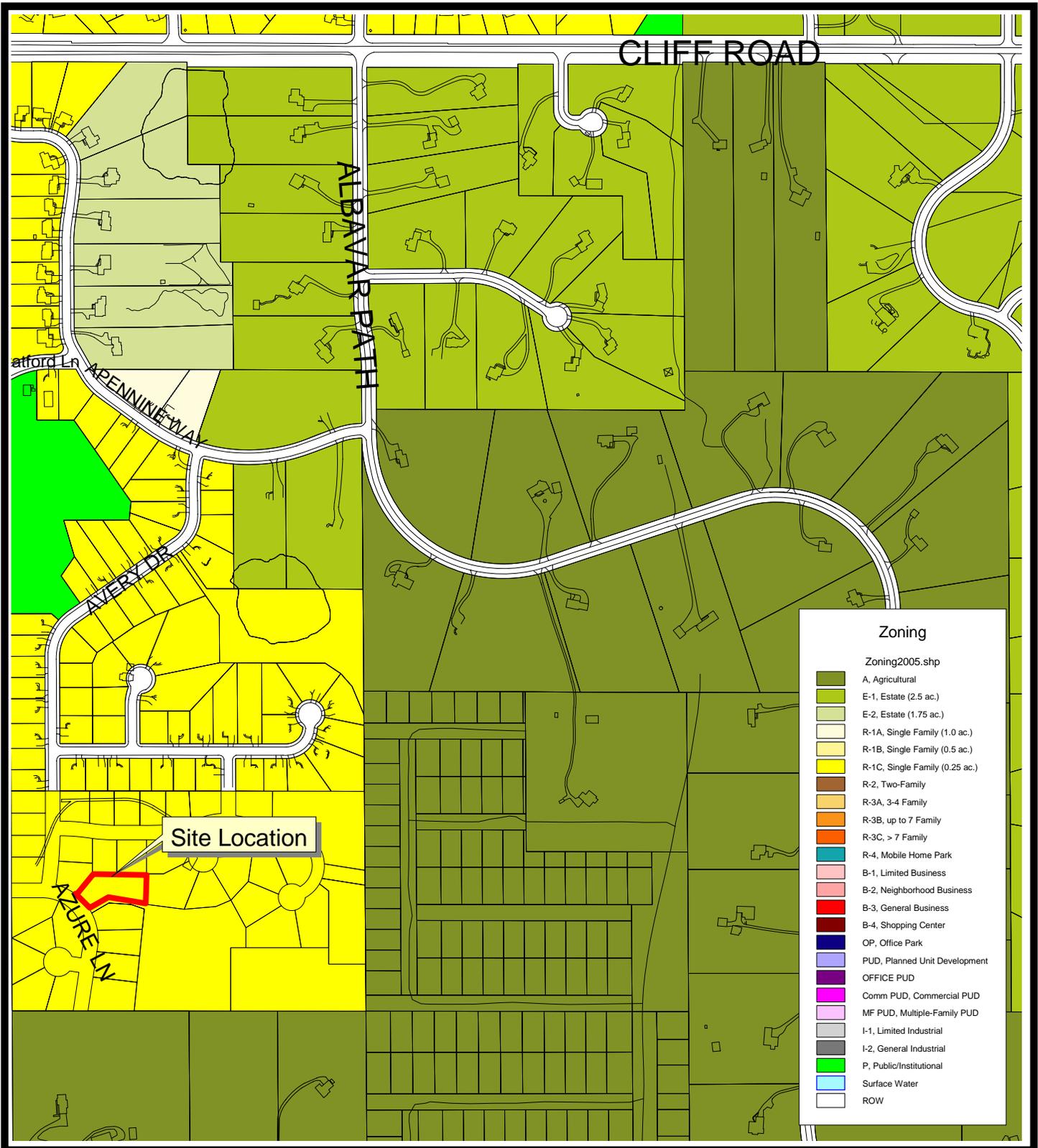
RECOMMENDATION

Staff believes that the variance criterion has not been met and therefore Staff recommends denial of the variance as presented. While the request to exceed the maximum impervious surface is not large in terms of percentage of coverage, there are no unique constraints to the property and there would be reasonable use of the property without the variance.

Attachments: Exhibit A – Location/Zoning Map
Exhibit B – Applicant Narrative
Exhibit C – Site Plan



Charles Cudd Co. Variance

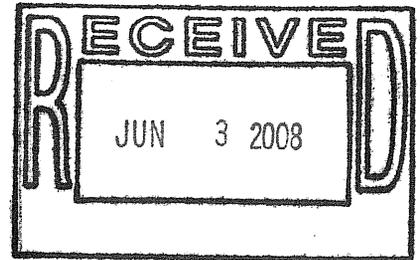


Map is not to scale

Exhibit A
Zoning and Location Map

Request for Variance to Impervious Surface Coverage Limit at 11662 Azure Lane

1. This is a large irregular shaped lot which does not allow a typical minimum setback due to a narrow lot frontage. This necessitates angling the garage and setting the house back farther on the lot which increases the driveway and hardcover. Based upon the exceptionally large lot size of 29,017 sq ft. we are asking that a variance be granted for the total amount of hardcover to be 4744 sq ft vs the city cap of 4000. Even with this requested increase in hardcover the total hardcover is less than 17% of the total lot size which is way below any measure of industry standard.



CERTIFICATE OF SURVEY

FOR: Charles Cudd Co.

EXISTING PROPERTY DESCRIPTION

Lot 3, Block 5, WOODLAND PRESERVE, Dakota County, Minnesota.

BENCHMARK

Top Nut Fire Hydrant in front of Lots 3 and 4, Block 6, WOODLAND PRESERVE, ELEVATION=977.46.

SURFACE CALCULATIONS

PROPOSED HOUSE.....±3,021 sq. ft.
 FRONT PORCH.....±208 sq. ft.
 DRIVEWAY.....±1,389 sq. ft.
 DECK.....±60 sq. ft.
 SIDEWALK.....±66 sq. ft.
 TOTAL LOT AREA.....±29,017 sq. ft.
 IMPERVIOUS SURFACE.....±16.3%
 IMPERVIOUS.....±4,744 sq. ft.

PROPOSED ELEVATIONS

GARAGE FLOOR = 976.8
 TOP OF BLOCK = 977.5
 LOWEST FLOOR = 968.8

NORTH
 1"=30'

NOTES

- BUILDING ELEVATIONS SET BY OWNER.
- HOUSE TO BE RESTAKED AT A LATER DATE.
- FIELD SURVEY CONDUCTED ON MAY 2, 2008.
- BEARING'S SHOWN ARE ON ASSUMED DATUM.
- CONTRACTOR TO VERIFY HOUSE DIMENSIONS, AND SEWER AND BASEMENT DEPTHS.
- FINISHED GRADE 10 FEET FROM PROPOSED BUILDING SHALL BE 0.5 FEET LOWER THAN THE FINISHED GRADE AT THE BUILDING.
- FINISHED GRADE ELEVATIONS ARE TO FINISHED SURFACE WITH TURF ESTABLISHMENT.
- DRIVEWAYS ARE SHOWN FOR GRAPHIC PURPOSES ONLY. FINAL DRIVEWAY DESIGN AND LOCATION TO BE DETERMINED BY CONTRACTOR

JOB#08119HS

ACRE LAND SURVEYING
 Ham Lake, MN 55304
 763-458-2997 acrelandsurvey@gmail.com

LEGEND

- ⊙ DENOTES 3" PVC DRAIN
- DENOTES IRON MONUMENT FOUND
- ⊙892.3 DENOTES PROPOSED ELEVATION.
- ×1011.2 DENOTES EXISTING ELEVATION.
- DENOTES DIRECTION OF DRAINAGE.
- ⊠ DENOTES METAL SPIKE
- ▭ DENOTES BITUMINOUS
- ☼ DENOTES EXISTING TREE

- Revised: 5-19-08 (Patio Location)
- Revised: 6-1-08 (Surface Calcs)
- Revised: 6-2-08 (House and Placement)
- Revised: 6-3-08 (House and Placement)

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Joshua P. Schneider
 JOSHUA P. SCHNEIDER

Date: 5-16-08 Reg. No. 44655

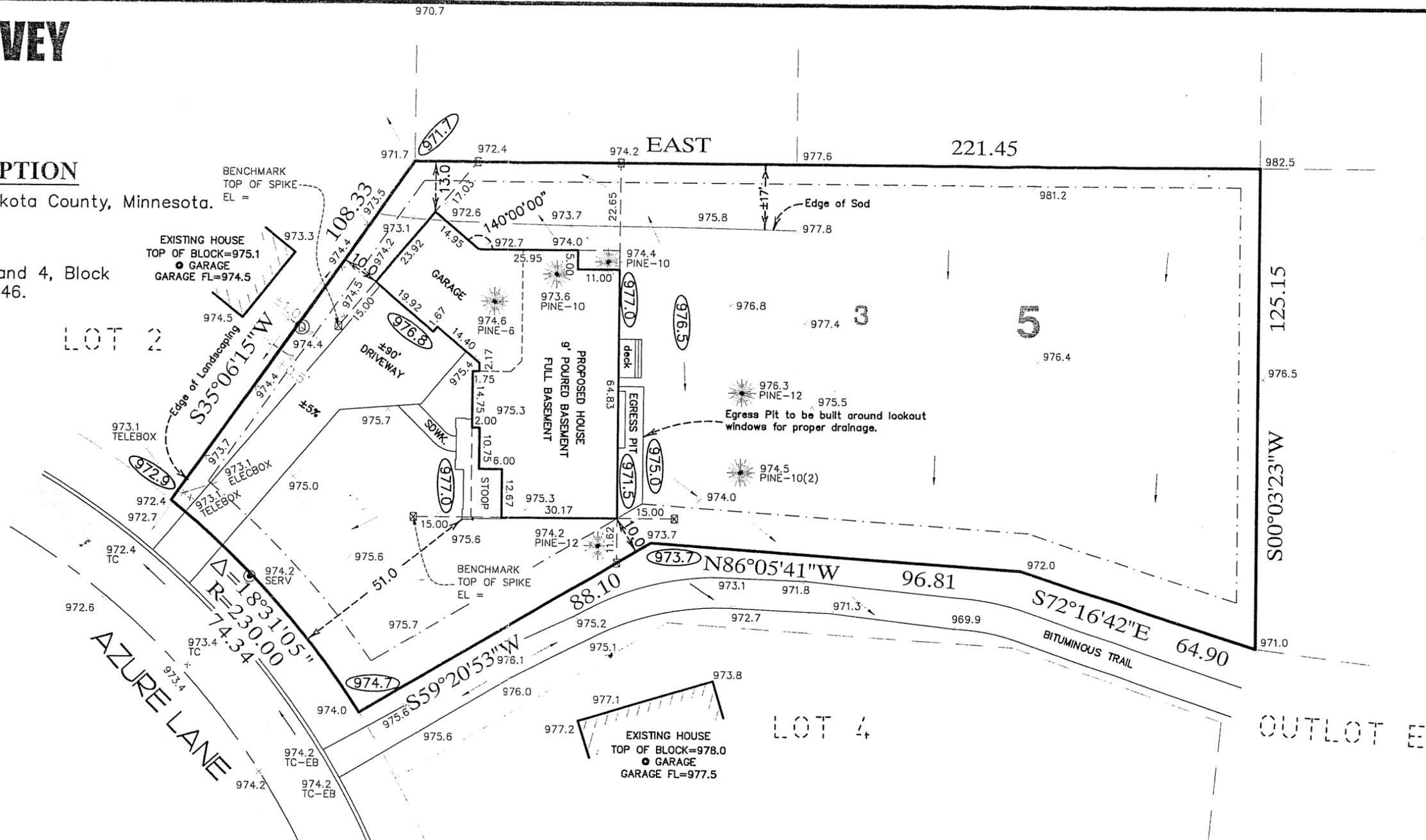


Exhibit 'C'

CITY OF INVER GROVE HEIGHTS

REQUEST FOR COUNCIL ACTION

Consider Final Compensating Change Order No. 2 and Final Pay Voucher No. 4 for 2007 Pavement Management Program, City Project No. 2007-09C – Mill and Overlay

Meeting Date: July 28, 2008
 Item Type: Consent
 Contact: Scott D. Thureen 651.450.2571
 Prepared by: Scott D. Thureen, Public Works Director
 Reviewed by: N/A *SST CS*

Fiscal/FTE Impact:

- None
- Amount included in current budget
- Budget amendment requested
- FTE included in current complement
- New FTE requested – N/A
- Other: Assessments, Pavement Management Fund

PURPOSE/ACTION REQUESTED

Consider (a) Final Compensating Change Order No. 2, (b) Final Pay Voucher No. 4, (c) Engineer's Final Report, and (d) Resolution Accepting Work for the 2007 Pavement Management Program, City Project No. 2007-09C – Mill and Overlay.

SUMMARY

The improvements were ordered as part of the 2007 Improvement Program. The contract was awarded in an amount of \$573,098.70 to McNamara Contracting, Inc. on May 14, 2007.

The contractor has completed work through July 13, 2008 in accordance with the contract plans and specifications. Change Order No. 2 is a decrease of \$15,558.93 to adjust for the final quantities.

Engineering recommends approval of Final Compensating Change Order No. 2 in the amount of -\$15,558.93 (for a revised contract amount of \$595,641.57) and Final Pay Voucher No. 4 in the amount of \$5,956.43, for City Project No. 2007-09C – Mill and Overlay.

SDT/rs
 Attachment Pay Voucher No. 4
 Final Compensating Change Order No. 2
 Engineer's Final Report
 Resolution

CHANGE ORDER NO. 2
CITY PROJECT NO. 2007-09C
MILL AND OVERLAY

Owner: City of Inver Grove Heights 8150 Barbara Avenue Inver Grove Heights, MN 55077	Date of Issuance: July 22, 2008
Contractor: McNamara Contracting, Inc. 16700 Chippendale Avenue Rosemount, MN 55068	Engineer: City of Inver Grove Heights

You are directed to make the following changes in the Contract Documents:

Purpose of Change Order:
 The contract has been modified to include the following:

See attached sheet

CHANGE IN CONTRACT PRICE	CHANGE IN CONTRACT TIME
Original Contract Price: \$573,098.70	Original Contract Time:
Previous Change Orders No. <u> 1 </u> to No. <u> </u>	Net Change from Previous Change Orders
Contract Price Prior to this Change Order \$611,200.50	Contract Time Prior to this Change Order
Net decrease of this Change Order (\$15,558.93)	Net Increase (Decrease) of Change Order
Contract Price with all Approved Change Orders \$595,641.57	Contract Time with Approved Change Orders
Recommended By:  Engineering Technician	Approved By: _____ McNamara Contracting, Inc.

Approved By: _____

 Scott D. Thureen,
 Public Works Director

Approved By: _____
 George Tourville, Mayor

Date of Council Action: _____
 July 28, 2008

Attachment to Change Order Number 2
City Project 2007-09C

Contractor: McNamara Contracting, Inc.

Project: Mill and Overlay

Description of Changes:

1. Final compensating amount to balance value of work completed and total payments made to Contractor. Accounts for miscellaneous increases and decreases in contract quantities listed in Final Payment Voucher form. The amount is calculated as follows:

Value of work completed to date (Prior to this change order)	\$595,641.57
Additional work included in this Change Order	\$ 0.00
Total Value of work completed to date	\$595,641.57
Contract amount to date	<u>\$611,200.50</u>
› Compensating Amount	- \$15,558.93

Total of Change Order #1 - \$15,558.93

**CITY OF INVER GROVE HEIGHTS
DAKOTA COUNTY, MINNESOTA**

ENGINEER'S REPORT OF FINAL ACCEPTANCE

**CITY PROJECT NO. 2007-09C
MILL AND OVERLAY**

July 28, 2008

TO THE CITY COUNCIL
INVER GROVE HEIGHTS, MINNESOTA

HONORABLE MAYOR AND CITY COUNCIL MEMBERS:

This is to advise you that I have received the work under contract to McNamara Contracting, Inc. The work consisted of bituminous mill and overlay.

The contractor has completed the project in accordance with the contract.

It is recommended, herewith, that final payment be made for said improvements to the contractor in the amount as follows:

ORIGINAL CONTRACT PRICE	\$573,098.70
CHANGE ORDERS (No. 1,2)	\$22,542.87
FINAL CONTRACT AMOUNT	\$595,641.57
FINAL VALUE OF WORK	\$595,641.57
PREVIOUS PAYMENTS	\$589,685.14
BALANCE DUE	\$5,956.43

Sincerely,


Scott D. Thureen, P.E.
Public Works Director

**CITY OF INVER GROVE HEIGHTS
DAKOTA COUNTY, MINNESOTA**

**RESOLUTION ACCEPTING WORK OF MCNAMARA CONTRACTING, INC. AND AUTHORIZING
FINAL PAYMENT IN THE AMOUNT OF \$5,956.42**

**2007 PAVEMENT MANAGEMENT PROGRAM
CITY PROJECT NO. 2007-09C – MILL AND OVERLAY**

RESOLUTION NO. _____

WHEREAS, pursuant to a written contract with the City of Inver Grove Heights dated May 14, 2007, McNamara Contracting, Inc., satisfactorily completed improvements and appurtenances for the 2007 Pavement Management Program, City Project No. 2007-09C – Mill and Overlay.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF INVER GROVE HEIGHTS: That the work completed under this contract is hereby accepted and approved, and

BE IT FURTHER RESOLVED: That the Mayor and the City Clerk are hereby directed to issue a proper order for final payment on such contract, taking the contractor's receipt in full.

Adopted by the City Council of Inver Grove Heights this 28th day of July 2008.

AYES:

NAYS:

George Tourville, Mayor

ATTEST:

Melissa Rheaume, Deputy Clerk

CITY OF INVER GROVE HEIGHTS

REQUEST FOR COUNCIL ACTION

Resolution Receiving Feasibility Study, Ordering Project, Approving Plans and Specifications and Authorizing Advertisement for Bids for City Project No. 2008-13 Courthouse Boulevard Court Street Improvements

Meeting Date: July 28, 2008
 Item Type: Regular
 Contact: Scott D. Thureen, 651.450.2571
 Prepared by: Scott D. Thureen, Public Works Director
 Reviewed by: *SDT*

<input type="checkbox"/>	Fiscal/FTE Impact:
<input type="checkbox"/>	None
<input type="checkbox"/>	Amount included in current budget
<input type="checkbox"/>	Budget amendment requested
<input type="checkbox"/>	FTE included in current complement
<input type="checkbox"/>	New FTE requested – N/A
<input checked="" type="checkbox"/>	Other: Developer Assessments, Storm Water Fees

PURPOSE/ACTION REQUESTED

Consider a resolution receiving feasibility study, ordering project, approving plans and specifications and authorizing advertisement for bids for City Project No. 2008-13 Courthouse Boulevard Court Street Improvements.

SUMMARY

At its July 14, 2008 meeting, the City Council accepted the proposal for WSB and Associates, Inc. for preparation of a feasibility study, and engineering design and construction phase services; and authorized preparation of construction plans and specifications for City Project No. 2008-13.

The project consists of 1) intersection improvements at Barnes Avenue and Courthouse Boulevard Court deemed necessary for safe movements by semi-trucks, 2) a mill and overlay of Courthouse Boulevard Court from Barnes Avenue, east to its terminus, with reconstruction of two short segments, 3) a southbound right turn lane from Barnes Avenue to Courthouse Boulevard Court, and 4) three right turn lanes on Courthouse Boulevard Court at the entrances to the development.

This project is being advanced on a compressed schedule to allow the road work to be completed this year. The developer will waive their right to a public hearing and their right to appeal assessments for the intersection geometric improvements up to an amount of \$100,000 and for the street improvements up to an amount of \$200,000. In addition, the developer will be assessed the full cost of the new southbound right turn lane from Barnes Avenue to Courthouse Boulevard Court and the three right turn lanes on Courthouse Boulevard Court into the development. One of the two short areas of reconstruction on Courthouse Boulevard Court is an area that needs to be raised to correct an existing storm water overtopping condition. The cost of this work will be funded by the Northwest Area Storm Water Plat/Building Permit Connection Fees. A representative from WSB and Associates will be at the meeting to present the results of the feasibility study.

I recommend approval of the resolution receiving feasibility study, ordering project, approving plans and specifications and authorizing advertisement for bids for City Project No. 2008-13 Courthouse Boulevard Court Street Improvements.

SDT/rs

Attachments: Feasibility Study (provided in Friday packet)
 Resolution

**CITY OF INVER GROVE HEIGHTS
DAKOTA COUNTY, MINNESOTA**

**RESOLUTION RECEIVING FEASIBILITY STUDY, ORDERING PROJECT, APPROVING PLANS
AND SPECIFICATIONS AND AUTHORIZING ADVERTISEMENT FOR BIDS FOR CITY PROJECT
NO. 2008-13 COURTHOUSE BOULEVARD COURT STREET IMPROVEMENTS**

RESOLUTION NO. _____

WHEREAS, as part of the settlement agreement for the InverPoint Business Park, the City is responsible for the construction of various street improvements on Barnes Avenue and on Courthouse Boulevard Court; and

WHEREAS, on July 14, 2008, the City Council approved a contract with WSB & Associates, Inc. to prepare a feasibility study, final design and construction phase services for the project; and

WHEREAS, The City has indicated that it will make a reasonable attempt to complete the construction of the project by the end of 2008, and to do so, it must advertise for bids no later than August 4, 2008.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF INVER GROVE HEIGHTS, MINNESOTA THAT:

1. The feasibility study is received.
2. City Project No. 2008-13 is hereby ordered as proposed in the Council resolution adopted July 28, 2008.
3. The plans and specifications are approved.
4. Staff is authorized to advertise for bids.
5. The contract for these improvements shall be let no later than two years after the adoption of this resolution.

Adopted by the City Council of Inver Grove Heights, Minnesota this 28th day of July 2008.

AYES:

NAYS:

George Tourville, Mayor

ATTEST:

Melissa Rheaume, Deputy Clerk

CITY OF INVER GROVE HEIGHTS

REQUEST FOR COUNCIL ACTION

Final Compensating Change Order No. 1 and Final Payment Voucher No. 2 for City Project No. 2008-09A – Joint and Cracksealing

Meeting Date: July 28, 2008
 Item Type: Consent
 Contact: Scott D. Thureen, 651.450.2571
 Prepared by: Scott D. Thureen, Public Works Director
 Reviewed by: N/A *SST* *ST*

Fiscal/FTE Impact:	
<input type="checkbox"/>	None
<input type="checkbox"/>	Amount included in current budget
<input type="checkbox"/>	Budget amendment requested
<input type="checkbox"/>	FTE included in current complement
<input type="checkbox"/>	New FTE requested – N/A
<input checked="" type="checkbox"/>	Other: Pavement Management Fund

PURPOSE/ACTION REQUESTED

Consider: (a) Contractor Change Order No. 1, (b) Contractor Final Pay Voucher No. 2, (c) Engineer's Final Report, and (d) Resolution Accepting Work under the 2008 Pavement Management Program – City Project No. 2008-09A – Joint and Cracksealing.

SUMMARY

The improvements were included as part of the 2008 Pavement Management Program. The contract was awarded in an amount of \$75,861.20 to Northwest Sealing, on May 27, 2008. Change Order No. 1 is for bid quantity adjustments. The change order is funded from the Pavement Management Fund. The contractor has completed the work in accordance with the contract plans and specifications.

Engineering recommends approval of (a) Contractor Change Order No. 1 in the amount of \$184.00, for a final contract price of \$76,045.20, (b) Contractor Final Pay Voucher No. 2 in the amount of \$14,827.96, (c) Engineer's Final Report, and (d) Resolution Accepting Work under the 2008 Pavement Management Program City Project No. 2008-09A – Joint and Cracksealing.

SDT/rs

Attachment: Final Compensating Change Order No. 1
 Final Pay Voucher No. 2
 Engineer's Final Report
 Resolution Accepting Work

CHANGE ORDER NO. 1
FINAL COMPENSATING CHANGE ORDER

Project: Crack Seal

City Project: 2008-09A

Owner: City of Inver Grove Heights 8150 Barbara Avenue Inver Grove Heights, MN 55077	Date of Issuance: July 21, 2008
Contractor: Northwest Sealing 1441 Lind Road Cloquet, MN 55720	Engineer: City Engineer

You are directed to make the following changes in the Contract Documents:

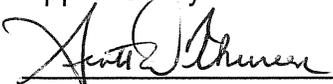
Purpose of Change Order:

The contract has been modified to include the following:

See attached explanation sheet.

CHANGE IN CONTRACT PRICE	CHANGE IN CONTRACT TIME
Original Contract Price: \$ 75,861.20	Original Contract Time:
Previous Change Orders \$ 0.00	Net Change from Previous Change Orders
Contract Price Prior to this Change Order \$ 75,861.20	Contract Time Prior to this Change Order
Net Increase of this Change Order \$ 184.00	Net Increase (Decrease) of Change Order
Contract Price with all Approved Change Orders \$ 76,045.20	Contract Time with Approved Change Orders
Recommended By:  Engineering Technician	Approved By: _____ Northwest Sealing

Approved By:


 Scott D. Thureen,
 Public Works Director

Approved By:

 George Tourville, Mayor

Date of Council Action

July 28, 2008

1. Bid Quantity Adjustment for: F & I Crack Sealant

Additional quantity from rounding error in measurements: add 1 Station

Additional quantity for extra work (seal saw cut at 3095 65th St): add 1 Station

Total Additional Stations = 1 + 1 = 2 Stations at \$92.00/Station

Total cost of item 1: (+)\$184.00

Total net cost of Bid Quantity Adjustments: (+)\$184.00

2. Final compensating amount to balance value of work completed and total payments made to Contractor. Accounts for miscellaneous increases and decreases in contract quantities listed in Final Payment Voucher form. The amount is calculated as follows:

Value of work completed to date (Prior to this change order)	\$ 76,045.20
Contract amount to date	\$ 75,861.20
Compensating Change Order Amount	\$ 184.00

Total of Final Compensating Change Order: \$184.00

**CITY OF INVER GROVE HEIGHTS
DAKOTA COUNTY, MINNESOTA**

ENGINEER'S REPORT OF FINAL ACCEPTANCE

**2008 PAVEMENT MANAGEMENT PROGRAM
CITY PROJECT NO. 2008-09A – JOINT AND CRACKSEALING**

July 21, 2008

TO THE CITY COUNCIL
INVER GROVE HEIGHTS, MINNESOTA

HONORABLE MAYOR AND CITY COUNCIL MEMBERS:

This is to advise you that I have received the work under contract to Northwest Sealing. The work consisted of cracksealing within the City of Inver Grove Heights.

The contractor has completed the project in accordance with the contract.

It is recommended, herewith, that final payment be made for said improvements to the contractor in the amount as follows:

ORIGINAL CONTRACT PRICE	\$75,861.20
CHANGE ORDERS (No. 1)	\$184.00
FINAL CONTRACT AMOUNT	\$76,045.20
FINAL VALUE OF WORK	\$76,045.20
PREVIOUS PAYMENTS	\$61,217.24
BALANCE DUE	\$14,827.96

Sincerely,



Scott D. Thureen, P.E.
Public Works Director

SDT/kf

**CITY OF INVER GROVE HEIGHTS
DAKOTA COUNTY, MINNESOTA**

**RESOLUTION ACCEPTING WORK OF NORTHWEST SEALING AND AUTHORIZING FINAL
PAYMENT IN THE AMOUNT OF \$14,827.96 TO NORTHWEST SEALING.**

**2008 PAVEMENT MANAGEMENT PROGRAM
CITY PROJECT NO. 2008-09A – JOINT AND CRACKSEALING PROJECT**

RESOLUTION NO. _____

WHEREAS, pursuant to a written contract with the City of Inver Grove Heights dated May 27, 2008, Northwest Sealing, 1441 Lind Road, Cloquet, MN, satisfactorily completed improvements and appurtenances for the 2008 Pavement Management Program.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF INVER GROVE HEIGHTS: That the work completed under this contract is hereby accepted and approved, and

BE IT FURTHER RESOLVED: That the Mayor and the City Clerk are hereby directed to issue a proper order for final payment on such contract, taking the contractor's receipt in full.

Adopted by the City Council of Inver Grove Heights this 28th day of July 2008.

AYES:

NAYS:

George Tourville, Mayor

ATTEST:

Melissa Rheaume, Deputy Clerk

CITY OF INVER GROVE HEIGHTS

REQUEST FOR COUNCIL ACTION

Resolution Ordering Project, Approving Plans and Specifications and Authorizing Advertisement for Bids for City Project No. 2008-10 – TH 52 East Frontage Road – Ravine Storm Water Ponds

Meeting Date: July 28, 2008
Item Type: Regular
Contact: Scott D. Thureen, 651.450.2571
Prepared by: Scott D. Thureen, Public Works Director
Reviewed by: *SST*

<input type="checkbox"/>	Fiscal/FTE Impact:
<input type="checkbox"/>	None
<input type="checkbox"/>	Amount included in current budget
<input type="checkbox"/>	Budget amendment requested
<input type="checkbox"/>	FTE included in current complement
<input type="checkbox"/>	New FTE requested – N/A
<input checked="" type="checkbox"/>	Other: MnDOT Funds, Closed Bond Fund

PURPOSE/ACTION REQUESTED

Consider resolution ordering project, approving plans and specifications and authorizing advertisement for bids for City Project No. 2008-10 – TH 52 East Frontage Road – Ravine Storm Water Ponds.

SUMMARY

As part of the TH 52 East Frontage Road, the City agreed to be the lead agency to construct a portion of the storm water treatment and ponding facilities for the project. This was done so that the storm water ponds could be located and designed to alleviate a long-standing severe erosion and sedimentation problem that was caused by storm water runoff from a larger area than the State's highway/frontage road right-of-way. The State has agreed to provide \$502,000 in funding assistance for the project due to the runoff contribution from State land. The balance of the project cost (\$350,000) would be funded from the Closed Bond Fund.

The Council approved a contract with Kimley-Horn and Associates to prepare the plans and specifications on January 28, 2008. The project would be bid this summer and construction would begin this fall to coordinate work with the State's construction of the TH 52 East Frontage Road.

I recommend approval of the resolution ordering the project, approving plans and specifications and authorizing advertisement for bids for City Project No. 2008-10 – TH 52 East Frontage Road – Ravine Storm Water Ponds.

SDT/rs
Attachments: Resolution
Map

**CITY OF INVER GROVE HEIGHTS
DAKOTA COUNTY, MINNESOTA**

**RESOLUTION ORDERING IMPROVEMENTS, APPROVING PLANS AND SPECIFICATIONS AND
AUTHORIZING ADVERTISEMENT FOR BIDS - CITY PROJECT NO. 2008-10 TH 52 EAST
FRONTAGE ROAD – RAVINE STORM WATER FUND**

RESOLUTION NO. _____

WHEREAS, MnDOT plans to construct a frontage road along the east side of TH 52, from the current terminus of the frontage road at 111th Street, north to Inver Grove Trail; and

WHEREAS, MnDOT will provide funding assistance up to \$502,000; and

WHEREAS, the project must be completed before MnDOT begins construction on its frontage road project in 2009.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF INVER GROVE HEIGHTS, MINNESOTA THAT:

1. The improvement is hereby ordered as proposed in this Council resolution adopted July 28, 2008, and as described in the plans and specifications for the improvement.
2. The plans and specifications are hereby approved.
3. Staff is authorized to advertise for bids.
4. The project will be funded from the MnDOT contribution and the Closed Bond Fund.
5. The contract for these improvements shall be let no later than two years after the adoption of this resolution.

Adopted by the City Council of Inver Grove Heights, Minnesota this 28th day of July 2008.

AYES:

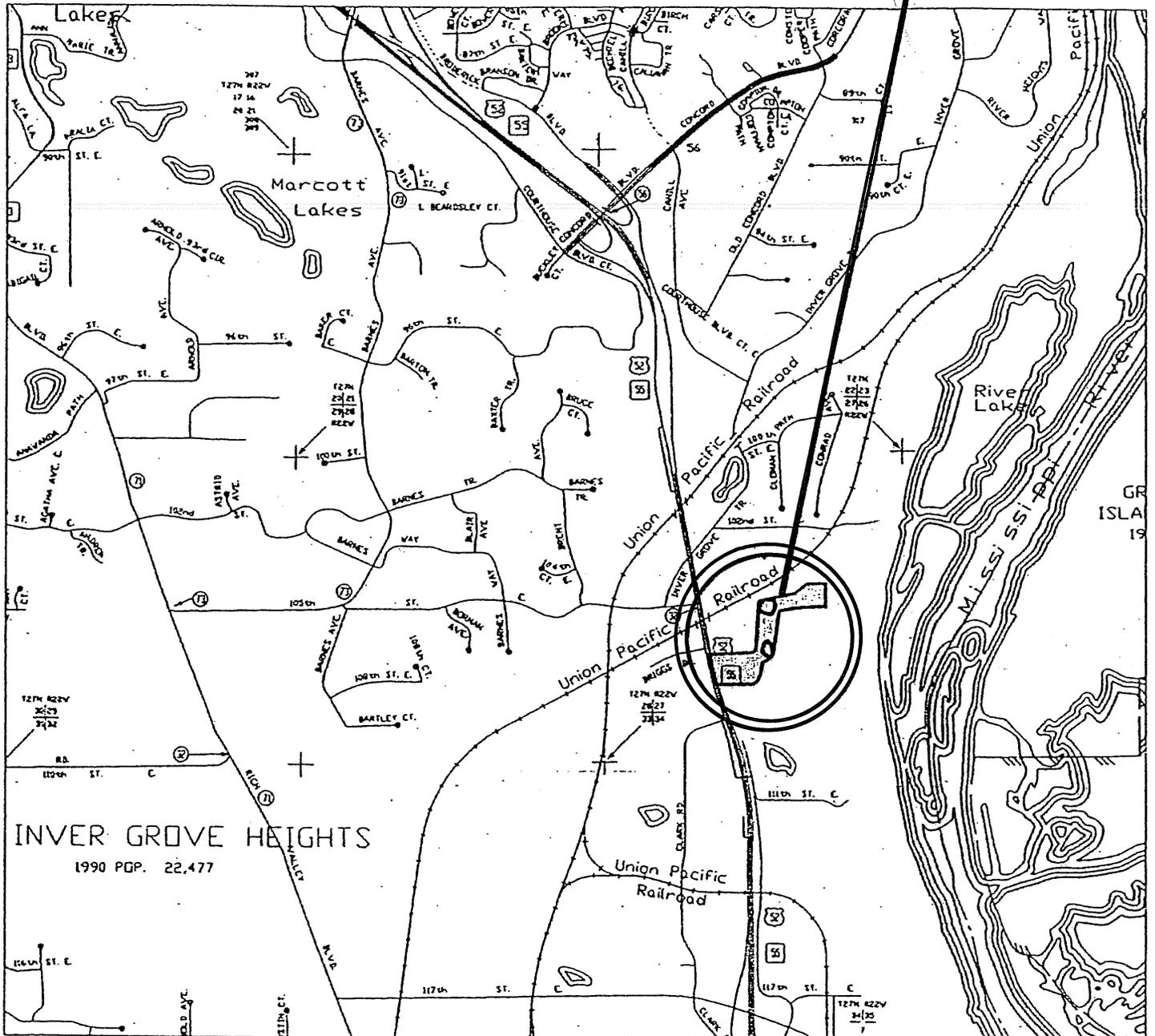
NAYS:

George Tourville, Mayor

ATTEST:

Melissa Rheaume, Deputy Clerk

SP 1907-74
PROJECT AREA



CITY OF INVER GROVE HEIGHTS

REQUEST FOR COUNCIL ACTION

CONSIDER AMENDMENTS TO CITY CODE SECTIONS 300.33 AND 300.35 VACATION LEAVE AND PERSONAL LEAVE

Meeting Date: July 28, 2008
Item Type: Regular
Contact: JTeppen, Asst. City Admin.
Prepared by:
Reviewed by:

Fiscal/FTE Impact:	
<input checked="" type="checkbox"/>	None
<input type="checkbox"/>	Amount included in current budget
<input type="checkbox"/>	Budget amendment requested
<input type="checkbox"/>	FTE included in current complement
<input type="checkbox"/>	New FTE requested – N/A
<input type="checkbox"/>	Other

PURPOSE/ACTION REQUESTED Consider the first reading of and ordinance amending City Code Sections 300.33 and 300.35, Vacation Leave and Personal Leave.

SUMMARY During negotiations this year, we agreed to two changes regarding vacation and personal leave. The first was to compress the vacation accrual schedule. The second was to increase the amount of personal leave an employee can designate for deposit to their Health Care Savings Plan.

Bargaining agreements have been approved with those changes. City Code now needs amending for those employees not in a bargaining unit – our Non-Union group of employees.

All benefited employees receive the same level of benefits – no group of employees receives anything lesser or greater than another group.

CITY OF INVER GROVE HEIGHTS
DAKOTA COUNTY, MINNESOTA

ORDINANCE NO. _____

AN ORDINANCE AMENDING SECTIONS 300.33, Subd. 1 and 300.35 Subd. 8, OF THE
INVER GROVE HEIGHTS CITY CODE
RELATING TO VACATION LEAVE AND PERSONAL LEAVE

The City Council of Inver Grove Heights does hereby ordain as follows:

Section 1. Amendment. IGH City Code Section 300.33 is hereby amended to read as follows:

300.33. Vacation Leave. Subd. 1. How Much. Employees serving their orientation period and full-time employees shall earn vacation leave according to the accrual table below:

<u>Continuous Years of Service</u>	<u>Annual Hours of Vacation Accrual</u>
Zero through End of Five	80
Beginning of Six through End of Eight	120
Beginning of Nine through End of Twelve	Fifteen 144
Beginning of Thirteen Sixteen through End of Seventeen Nineteen	168
Beginning of Eighteen Twenty or More	182

Section 2. **Amendment.** IGH City Code Section 300.35 is hereby amended to read as follows:

300.35. Personal Leave. Subd. 8. Other Payments. Once a year at a time designated by the City, the City may offer an employee (in a bargaining unit who through the collective bargaining process has elected to NOT participate in the Minnesota State Retirement Systems Health Care Savings Plan) with accumulation of personal leave in excess of sixty (60) days the opportunity to exchange up to five (5) days of personal leave for cash.

For all of the employees in those bargaining units, who have through the collective bargaining process elected to participate in the Minnesota State Retirement Systems Health Care Savings Plan, all employees whose accumulation of personal leave has exceeded sixty (60) days will exchange the cash value of up to ~~five (5)~~ ten (10) days for deposit into their HCSP account. This deposit will occur in the month of December at a time to be determined by the Administrative Services Department.

Such an exchange will reduce the maximum total accumulation (cap) of an employee by an equal amount.

Section 3. Effective Date. This Ordinance shall be in full force and effect from and after its passage and publication according to law.

Passed this 25th day of August, 2008.

George Tourville, Mayor

AYES:

NAYS:

ATTEST:

Melissa Rheume, Deputy Clerk

CITY OF INVER GROVE HEIGHTS

REQUEST FOR COUNCIL ACTION

CONSIDER APPROVAL OF THE 2008 NON-UNION COMPENSATION PLAN

Meeting Date: July 28, 2008
 Item Type: Regular
 Contact: Jenelle Teppen, Asst. City Admin.
 Prepared by:
 Reviewed by:

Fiscal/FTE Impact:	
<input type="checkbox"/>	None
<input checked="" type="checkbox"/>	Amount included in current budget
<input type="checkbox"/>	Budget amendment requested
<input type="checkbox"/>	FTE included in current complement
<input type="checkbox"/>	New FTE requested – N/A
<input type="checkbox"/>	Other

PURPOSE/ACTION REQUESTED Consider approval of the proposed 2008 Non-Union Compensation Plan.

SUMMARY The City annually adopts a Compensation Plan for its employees who are not covered by a collective bargaining unit which we call the Non-Union group of employees. These are the City’s Department Heads and Supervisors, as well as a number of various other employees.

In late 2007 the City Council adopted a compensation and classification plan that was developed by the City’s consultant, Rod Kelsey of Riley Dettman and Kelsey. The plan that was adopted sets forth, among other things, our market comparables. When reviewing conditions of employment and economic feasibility, the City compares wages and benefits to that group of cities.

The compensation study provided information that indicated that the City had fallen behind in compensation levels for some of the benchmark classifications which then skewed our internal equity among some of the position classifications in this group of employees. As the Council will recall, the same situation occurred with some of the position classifications in the bargaining units, and market adjustments were made during union negotiations to remedy that situation. Market adjustments for a number of the positions in the Non-Union group are also necessary to complete the overall plan implementation.

An across the board increase of 3% is recommended in addition to the market adjustments. This is the same adjustment that three of our four bargaining units received (we go to mediation with the police officers in mid-August). We worked as a group (City, Business Agents and Union Presidents) to come to an agreement on health insurance. The City’s contribution will increase this year and next depending upon the insurance plan the employee has chosen. The City’s contribution to health insurance has not increased since 2005.

The 2008 budget was prepared in anticipation of the 3% increase. The market adjustments and the increases to the contributions to health insurance were not accounted for. Staff suggests that we return to the City Council at both a work session and regular meeting in September or October of this year to determine from where to fund the amounts over and above what was budgeted, for both the union and non-union settlements. At that point in the year, we will have a better idea of exactly what the overall impact is and how it can be accounted for; whether through fund balances, or through savings accumulated through position vacancies, or a combination of the two.

The 2009 budget will be prepared accounting for these increases.

CITY OF INVER GROVE HEIGHTS

REQUEST FOR COUNCIL ACTION

CONSIDER AUTHORIZING RECRUITMENT AND SELECTION FOR MANAGER OF ARENA AND BUILDING MAINTENANCE OPERATIONS

Meeting Date: July 28, 2008
Item Type: Regular
Contact: JTeppen, Asst. City Admin
Prepared by:
Reviewed by:

Fiscal/FTE Impact:	
<input type="checkbox"/>	None
<input checked="" type="checkbox"/>	Amount included in current budget
<input type="checkbox"/>	Budget amendment requested
<input type="checkbox"/>	FTE included in current complement
<input type="checkbox"/>	New FTE requested – N/A
<input type="checkbox"/>	Other

PURPOSE/ACTION REQUESTED Consider authorizing staff to recruit and select for the Manager of Arena and Building Maintenance Operations position.

SUMMARY With the recent resignation of Adam Brotzler staff has evaluated the position formerly known as Community Center Superintendent. With feedback and insight from Ken Vraa acting as a consultant to the City for this purpose, the attached job description has been drafted.

Essentially the position remains much the same as it was when Adam occupied it. Minor adjustments have been made so that the focus of the position is more towards management rather than maintenance.

The staff sought Mr. Vraa’s expertise in this area due to his ongoing involvement within the field of Parks and Recreation, but also his recent work in recruiting for similar positions within our immediate area. These modifications to the job description combined with his knowledge of the available candidate pool leads us to believe that we will find a qualified candidate for this important position.

Council will be discussing this at the 5:30 Work Session prior to the Council meeting.