

**INVER GROVE HEIGHTS
PLANNING COMMISSION AGENDA**

**TUESDAY, March 15, 2011 – 7:00 p.m.
City Council Chambers - 8150 Barbara Avenue**

1. **CALL TO ORDER**

2. **APPROVAL OF PLANNING COMMISSION MINUTES FOR JANUARY 18 AND FEBRUARY 15, 2011**

3. **APPLICANT REQUESTS AND PUBLIC HEARINGS**
 - 3.01 **RJ RYAN CONSTRUCTION– CASE NO. 11-02CA**
Consider a **Conditional Use Permit Amendment** to add an addition to the existing auto sales building located at 1290- 50th Street.

Planning Commission Action _____

 - 3.02 **CITY OF INVER GROVE HEIGHTS - GERTENS – CASE NO. 11-01Z**
Consider a **Rezoning** from A, Agricultural to Comm PUD, Commercial Planned Unit Development for the parcel located on the NE corner of Upper 55th and Blaine Avenue.

Planning Commission Action _____

 - 3.03 **RIVER COUNTRY CO-OP– CASE NO. 11-03CA**
Consider a **Conditional Use Permit Amendment** to add an addition to the existing convenience store along with other property improvements for the property located at 3240 – 57th Street.

Planning Commission Action _____

4. **OTHER BUSINESS**

5. **ADJOURN**

PLANNING COMMISSION MINUTES - CITY OF INVER GROVE HEIGHTS

Tuesday, January 18, 2011 – 7:00 p.m.
City Hall Chambers - 8150 Barbara Avenue

Chair Bartholomew called the Planning Commission meeting to order at 7:00 p.m.

Commissioners Present: Tom Bartholomew
Pat Simon
Dennis Wippermann
Tony Scales
Paul Hark
Christine Koch
Harold Gooch

Commissioners Absent: Damon Roth
Mike Schaeffer

Others Present: Allan Hunting, City Planner

APPROVAL OF MINUTES

The minutes from the December 7, 2010 meeting were approved as submitted.

APPLICANT REQUESTS AND PUBLIC HEARINGS

There were no public hearings.

OTHER BUSINESS

Mark Borgwardt, Park Superintendent, explained that the City received a grant from Dakota County Active Living Program to conduct a Trail Gap Study. City staff and Hoisington Koegler Group Inc. are requesting that the Planning Commission either confirm or recommend modifications to the list of trail prioritization criteria and the draft gap map which identifies key gaps in the City's trail and sidewalk system. He advised there will be community review as well and hopefully a final trail improvement map and recommendations will go to City Council in February or March. Mr. Borgwardt discussed the draft trail gap criteria for prioritization, including 1) connecting existing trails and sidewalks, 2) connecting residents to key destinations, 3) trails being located primarily in the developed area of the City, 4) enhancing safety, 5) minimal land use concerns, 6) creating loop trail opportunities, 7) using available right-of-way, 8) determining whether it was feasible and cost effective, and 9) can it be coordinated with planned road improvements. He then asked Commissioners for their input regarding prioritization criteria.

Commissioner Wippermann asked if the nine criteria just mentioned included the recommendations from the Park and Recreation Commission.

Mr. Borgwardt replied that both the Park and Recreation Commission and City Council agreed with the proposed criteria and did not recommend any additional criteria. They did, however, recommend additional trail segments, including a trail segment connecting the college, library, and high school, as well as a trail segment near the Moose Lodge and along Cliff Road in Southern Lakes.

Commissioner Gooch asked how many of these areas would have a separate sidewalk constructed rather than just striping the street, to which Mr. Borgwardt replied that wherever

possible the preferred route would be a detached trail or sidewalk as opposed to a painted shoulder.

Commissioner Gooch asked if they were proposing to create a trail from Babcock to South Robert along upper 55th as opposed to a wide shoulder, to which Mr. Borgwardt replied in the affirmative. Mr. Borgwardt advised that City Council expressed an interest in having a connection to Robert Trail.

Commissioner Gooch asked for clarification of Gaps P and C.

Mr. Borgwardt explained that they are proposing to run a trail along 70th Street from the golf course to South Robert Trail and also to run a section of sidewalk along Upper 55th in front of the abandoned gas station where there currently is a gap.

Commissioner Gooch asked if they planned to complete the proposed bituminous trails indicated with a dotted yellow line.

Mr. Borgwardt replied in the affirmative, stating they would need direction from the City Council on prioritization as well as input from Public Works as to what would be the most feasible from a street reconstruction point of view.

Commissioner Simon noted that the existing trail shown along Babcock between 70th and 75th Streets was actually located on the east side of Babcock rather than the west side as shown.

Mr. Borgwardt advised he would correct the map.

Commissioner Hark asked if the intent was to make all trails equally accessible to pedestrians and bikers, stating that people were more likely to ride bikes rather than walk in the less populated areas such as Gap K along Courthouse Boulevard, and therefore perhaps an on-road trail would be sufficient. Trails in the denser portions of the City, however, were more likely to cater to pedestrian traffic and would benefit from a separated bituminous trail. He noted there were many proposed bituminous trails in the Northwest Area.

Mr. Borgwardt stated this study does not address the Northwest Area; the proposed trails in that area come from the Comprehensive Plan. He stated they concentrated mostly on the developed portion of the City and would likely construct multi-purpose trails for both bike and pedestrian traffic.

Commissioner Hark asked for clarification of how the City would complete existing trail gaps, to which Mr. Borgwardt replied they have not identified materials yet (concrete vs. bituminous) and specific trail locations would depend on available right-of-way.

Commissioner Hark stated there could be a large cost savings in building an on-road trail primarily for biking versus a separated bituminous trail for pedestrians.

Mr. Borgwardt showed a brief video from Blue Cross Blue Shield regarding active living.

Chair Bartholomew recommended that the prioritization criteria be approved as stated. He asked if there were any recommended changes to the trail gap map.

Jim Huffman, 4237 Denton Way, stated the Park Commission was concerned about the Southern Lakes trail that dead ended at Cliff Road. For the safety of residents, they would like a trail built along Cliff Road.

Chair Bartholomew asked if City Council removed the proposed Southern Lakes trail from the Comprehensive Plan, to which Mr. Hunting replied he did not recall which specific segments were removed.

Commissioner Simon asked if the existing Southern Lakes trail was constructed of birch bark, to which Mr. Huffman replied that it had since been paved.

Chair Bartholomew asked why the recommended trail segment for Southern Lakes was not shown on the trail gap map, to which Mr. Huffman replied that it was and that he was here to show his support for it.

Commissioner Simon asked who prepared the basic recommendations, to which Mr. Huffman replied the Park and Recreation Commission.

Commissioner Simon asked if it would help if the Planning Commission stated they supported the proposed Southern Lakes trail segment, to which Mr. Huffman replied in the affirmative.

Commissioner Wippermann asked where the proposed extension would be located, to which Mr. Huffman replied the trail would come out of the southern end of Southern Lakes and continue west on Cliff Road to Alison Way. He advised the County would grant an easement for its construction.

Commissioner Wippermann stated the proposed Southern Lakes segment would meet the criteria for creating a loop trail opportunity.

Mr. Borgwardt questioned whether it would meet the criteria for being located in the developed area of the City, to which Commissioner Wippermann advised that Southern Lakes was a developed area of the City and it should therefore meet that criteria as well.

Chair Bartholomew suggested the Commission vote on both requests on a white ballot.

Motion by Commissioner Simon, second by Commissioner Hark, to approve the listed trail criteria for prioritization and the map of trail and sidewalk gaps with the addition of the Cliff Road gap near Southern Lakes.

Motion carried (7/0).

ADJOURNMENT

Chair Bartholomew adjourned the meeting at 7:49 PM.

Respectfully submitted,

Kim Fox
Recording Secretary

PLANNING COMMISSION MINUTES - CITY OF INVER GROVE HEIGHTS

Tuesday, February 15, 2011 – 7:00 p.m.
City Hall Chambers - 8150 Barbara Avenue

Chair Bartholomew called the Planning Commission meeting to order at 7:00 p.m.

Commissioners Present: Tom Bartholomew
Pat Simon
Tony Scales
Paul Hark
Harold Gooch
Damon Roth
Mike Schaeffer

Commissioners Absent: Christine Koch (excused)
Dennis Wippermann (excused)

Others Present: Tom Link, Community Development Director
Allan Hunting, City Planner

APPLICANT REQUESTS AND PUBLIC HEARINGS

There were no public hearings.

OTHER BUSINESS

Tom Link, Director of Community Development, gave a presentation regarding the Concord Boulevard Neighborhood. He explained the history of the area, including the recently restored Historic Rock Island Swing Bridge. He advised that in the 1990's residents and businessmen approached City Council regarding reinvigorating and redeveloping the Concord Area. As a result, the City hired a consultant to perform a Neighborhood Land Use Study of the Concord Area, which included a significant amount of neighborhood involvement. A key element of the plan was a riverfront park. A master plan for Heritage Village Park was prepared which, among other things, emphasized the historical aspect of the park. As a result of these planning activities, the City acquired the old railroad property as tax forfeit, conducted a series of environmental investigations, and commenced remediation of groundwater and soil contamination. That environmental cleanup continues today, with another years worth of work remaining. The City obtained grant funds and started to acquire properties in the Doffing Avenue Neighborhood from willing sellers, as well as acquiring several blighted properties along Concord Boulevard with the help of the Dakota County Community Development Agency (CDA). Mr. Link advised that the City has acquired 20 properties in the Doffing area from willing sellers, with 11 properties remaining. More recently, the City reviewed the Concord Neighborhood as part of its Comprehensive Plan Update. The Comprehensive Plan shows the 80-acre Heritage Village Park Master Plan, the Rock Island Swing Bridge Park, the marinas as permanent commercial, and mixed use along the Concord frontage. Mr. Link showed the various parts of the updated Heritage Village Park Master Plan, including the less intense open space area to the north, the more active use area to the south, and the Mississippi River Regional Trail (MRRT) running throughout the park.

Commissioner Simon asked for clarification of a walking bridge that had previously been discussed.

Mr. Link stated the walking bridge shown in earlier plans over the railroad tracks and Concord Boulevard has now been removed, in large part because of cost. He advised that the park will

feature internal trails as well as the County regional trail, which begins in Coon Rapids and extends down to Hastings. He advised that reconstruction of the Historic Rock Island Swing Bridge will hopefully be completed by summer 2011, with the parking lot and 66th Street trailhead being constructed later on this year.

Chair Bartholomew asked if the property on the west side of the pond near 62nd Street had recently been acquired by the City, to which Mr. Link replied in the affirmative.

Commissioner Hark asked if the park property was elevated enough above the river to alleviate fear of flooding.

Mr. Link replied that the City anticipates occasional flooding as much of the property lies in the 100 Year Floodplain. However, the park is designed in such a way that it can flood in certain parts without causing serious damage. He advised that the City has a standard protocol for managing flooding.

Mr. Link then discussed upcoming studies. He advised that the City is in the process of selecting a planning consultant to update the 1998 Concord Neighborhood Plan. The update will determine appropriate land use designations for neighborhood properties, identify potential redevelopment sites, and involve the residential neighborhood and Concord business community in the planning process. Mr. Link stated the Planning Commission will be involved in the Concord Neighborhood Plan Update which will take place in 2011. Once that is complete, the City will select a consultant to assist with the preparation of design guidelines and conduct a study of market strategies of the selected site(s). This will take place in 2012 and will be funded primarily by a Metropolitan Council Livable Communities Grant and will be undertaken in close cooperation with the City of South St. Paul, Dakota County CDA, Progress Plus, and Concord neighborhood residents and businesses. Once these studies are complete, the City will seek a developer to undertake redevelopment of the Concord Boulevard Neighborhood. He advised that the goal is to encourage more commercial and business activity, strengthen the residential neighborhood, and continue the existing pedestrian-oriented mixed use development pattern.

Commissioner Simon referred to the fill being placed on the park site and asked if it was close to completion, to which Mr. Link replied in the affirmative. He added that the fill was acquired free of charge from contractors working in the area.

Chair Bartholomew asked if the regional trail running from Coon Rapids to Hastings was near completion, to which Mr. Link replied in the affirmative.

Chair Bartholomew asked if the intent was for the trail to run down to Spring Lake Park in Hastings, to which Mr. Link replied in the affirmative. He stated the trail would hopefully improve economic development as well as be a recreational asset.

Commissioner Gooch asked if park visitors would be allowed to walk out onto the Rock Island Swing Bridge, to which Mr. Link replied in the affirmative.

Commissioner Gooch asked if Cameron Liquor was still planning to relocate to Concord Boulevard, to which Mr. Link replied in the affirmative, stating they were anticipating a Fall 2011 opening.

Chair Bartholomew asked if the County issues with Cameron's were resolved, to which Mr. Hunting replied there had never been any issues with access and they were still discussing final dollar amounts regarding relocation and acquisition.

Elections

Motion by Commissioner Gooch, second by Commissioner Simon to reappoint Tom Bartholomew as Chair of the Inver Grove Heights Planning Commission.

Motion by Commissioner Gooch, second by Commissioner Roth, to reappoint Paul Hark as Vice-Chair and Pat Simon as Secretary of the Inver Grove Heights Planning Commission.

Both motions carried (7/0).

ADJOURNMENT

Chair Bartholomew adjourned the meeting at 7:56 PM.

Respectfully submitted,

Kim Fox
Recording Secretary

SITE PLAN REVIEW

Setbacks. The proposed building addition is located over 80 feet from the closest property line, exceeding setback requirements.

Parking Lot. No changes are being proposed to the parking lot.

Access. Access to the site is not changing; there is one entrance off of 50th Street along the north side of the property.

Tree Preservation/Landscaping. Landscaping was approved with the original CUP based on the site perimeter; no additional landscaping is required with the proposed addition.

Engineering. Engineering has reviewed the request and has commented that they take no exceptions to the proposed plans.

GENERAL CONDITIONAL USE PERMIT REVIEW

This section reviews the plans against the CUP criteria in the Zoning Ordinance (Section 10-3A).

1. *The use is consistent with the goals, policies and plans of the City Comprehensive Plan, including future land uses, utilities, streets and parks.*

The use is consistent with the goals, policies, and plans of the Comprehensive Plan. The future land use of this parcel is Regional Commercial and automobile sales is consistent with the uses envisioned in this district.

2. *The use is consistent with the City Code, especially the Zoning Ordinance and the intent of the specific Zoning District in which the use is located.*

The applicant's property is zoned commercial. The land use of auto sales is consistent with the intent of the B-3 zoning district.

3. *The use would not be materially injurious to existing or planned properties or improvements in the vicinity.*

The proposed addition would not have a detrimental effect on public improvements in the vicinity of the property.

4. *The use does not have an undue adverse impact on existing or planned City facilities and services, including streets, utilities, parks, police and fire, and the reasonable ability of the City to provide such services in an orderly, timely manner.*

The building addition does not appear to have any negative effects on City facilities or services.

5. *The use is generally compatible with existing and future uses of surrounding properties, including:*
 - i. *Aesthetics/exterior appearance*
The proposed building addition would be constructed with similar materials as the existing building.
 - ii. *Noise*
The proposed addition would not generate noises that are inconsistent with B-3 zoning
 - iii. *Fencing, landscaping and buffering*
No changes are being proposed to the landscaping on the site.

6. *The property is appropriate for the use considering: size and shape; topography, vegetation, and other natural and physical features; access, traffic volumes and flows; utilities; parking; setbacks; lot coverage and other zoning requirements; emergency access, fire lanes, hydrants, and other fire and building code requirements.*

Access to the site is not changing. The amount of traffic would not be out of the ordinary for a commercial area. Setbacks exceed code requirements and the parking configuration is not changing.

7. *The use does not have an undue adverse impact on the public health, safety or welfare.*

This use does not appear to have any negative effects on the public health, safety or welfare.

8. *The use does not have an undue adverse impact on the environment, including, but not limited to, surface water, groundwater and air quality.*

The proposed addition would not generate any additional surface water or groundwater runoff as no additional impervious surface is being added to the property.

ALTERNATIVES

The Planning Commission has the following actions available on the following requests:

- A. **Approval.** If the Planning Commission finds the application to be acceptable, the following action should be taken:
 - Approval of a **Conditional Use Permit Amendment** for automobile and off highway vehicles sales to allow an addition to the existing building subject to the following conditions (the conditions listed are carried over from the existing CUP, no new conditions are being proposed):

1. The site shall be developed in substantial conformance with the following plans on file with the Planning Department except as may be modified by the conditions below.

Site Plan	dated 02/16/11
Building Elevations	dated 02/04/11
Civil Plan Set	dated 05/27/97
Landscaping	dated 05/27/97

2. The City Code Enforcement Officer, or other designee, shall be granted right of access to the property at all reasonable times to ensure compliance with the conditions of this permit.
3. All signage shall be in conformance with the sign regulations of the City.
4. All display pennants, flags, searchlights, balloons, and other similar devices shall be limited to no more than 10-days per calendar year. Use of such devices shall require a sign permit.
5. No employee or customer parking shall be allowed on 50th Street East.
6. Customer and employee parking shall be clearly signed and no display vehicles shall be allowed in this area.
7. Resolution No. 6584 shall become null and void and shall be replaced by the terms of this conditional use permit.

B. Denial. If the Planning Commission does not favor the proposed application the above request should be recommended for denial. With a recommendation for denial, findings or the basis for the denial should be given.

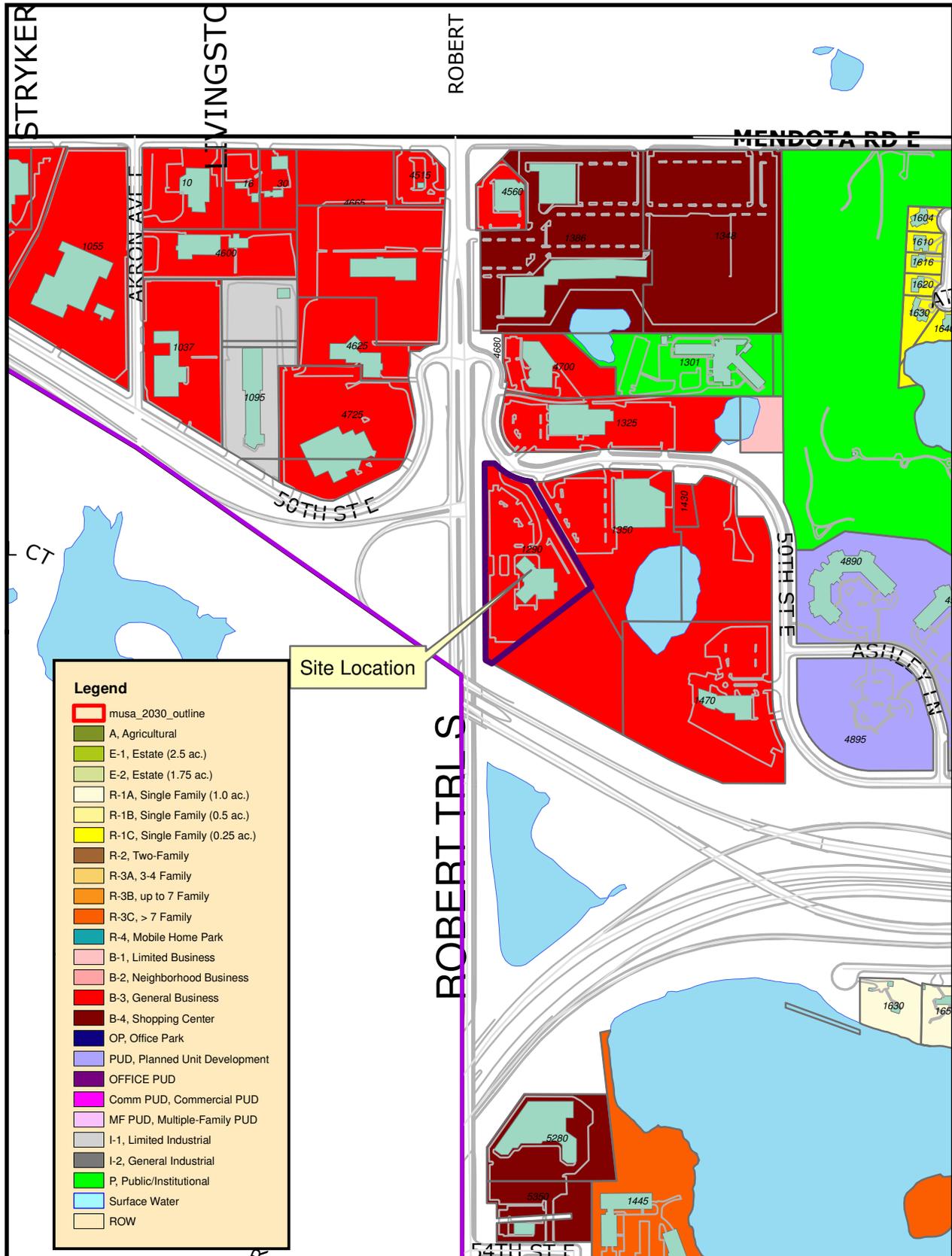
RECOMMENDATION

Based on the information in the preceding report and the conditions listed in Alternative A, staff is recommending approval of the request.

Attachments: Zoning/Location Map
Narrative
Site Plan
Elevations and Floor Plan



1290 - 50th Street



Legend	
	musa_2030_outline
	A, Agricultural
	E-1, Estate (2.5 ac.)
	E-2, Estate (1.75 ac.)
	R-1A, Single Family (1.0 ac.)
	R-1B, Single Family (0.5 ac.)
	R-1C, Single Family (0.25 ac.)
	R-2, Two-Family
	R-3A, 3-4 Family
	R-3B, up to 7 Family
	R-3C, > 7 Family
	R-4, Mobile Home Park
	B-1, Limited Business
	B-2, Neighborhood Business
	B-3, General Business
	B-4, Shopping Center
	OP, Office Park
	PUD, Planned Unit Development
	OFFICE PUD
	Comm PUD, Commercial PUD
	MF PUD, Multiple-Family PUD
	I-1, Limited Industrial
	I-2, General Industrial
	P, Public/Institutional
	Surface Water
	ROW

Site Location



Exhibit A
Zoning Map



1100 Mendota Heights Road • Mendota Heights, MN 55120 • (651) 681-0200 • Fax (651) 681-0235

February 16, 2011

City of Inver Grove Heights
8150 Barbara Avenue
Inver Grove Heights, MN 55077

Attn: Heather Botten

Re: **Inver Grove Hyundai**
Inver Grove Heights, MN

Dear Ms. Botten:

Our client, Inver Grove Hyundai, has recently purchased the Whitaker Building located at 1290 East 50th Street in Inver Grove Heights. We are proposing an 850 sq. ft. addition to the building to accommodate more vehicles inside the write up area. This will eliminate vehicles waiting outside for space to "open up". We will be using similar building materials to the original building to make sure the addition "blends" into the design of the current facility.

The current use of the building addition area is blacktop and this change will not affect vehicle traffic patterns on the site.

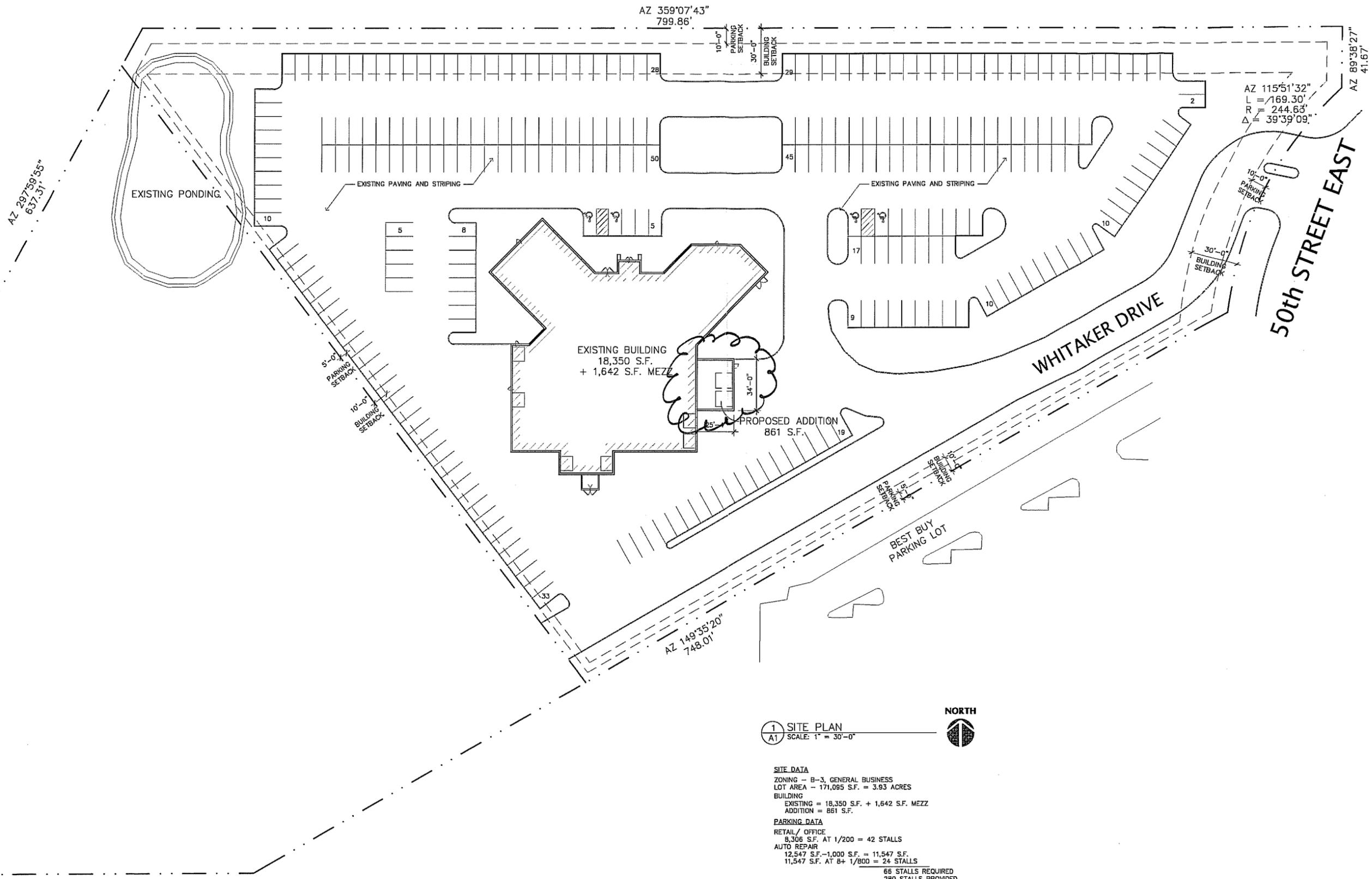
Please do not hesitate to contact me with any questions.

Sincerely,

R.J. RYAN CONSTRUCTION, INC.

Brian Trombley
Project Manager

BT:jk
IGH-letter to city 2-16-11



1 SITE PLAN
A1 SCALE: 1" = 30'-0"

SITE DATA
 ZONING - B-3, GENERAL BUSINESS
 LOT AREA - 171,095 S.F. = 3.93 ACRES
BUILDING
 EXISTING = 18,350 S.F. + 1,642 S.F. MEZZ
 ADDITION = 861 S.F.
PARKING DATA
 RETAIL / OFFICE
 8,306 S.F. AT 1/200 = 42 STALLS
 AUTO REPAIR
 12,547 S.F. - 1,000 S.F. = 11,547 S.F.
 11,547 S.F. AT 8+ 1/800 = 24 STALLS
 66 STALLS REQUIRED
 280 STALLS PROVIDED



LAMPERT ARCHITECTS
 420 Summit Avenue
 St. Paul, MN 55102
 Phone: 763.755.1211 Fax: 763.757.2849
 lampert@lampert-arch.com

ARCHITECT CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRELIMINARY NOT FOR CONSTRUCTION

RJRyan
 Construction, Inc.
 Commercial Design and Construction
 1100 Minnesota Highway Road
 Minneapolis, MN 55425
 Ph: 612-881-0220
 Fax: 612-881-0225

INVER GROVE HYUNDAI
 Inver Grove Heights, MN

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 Leonard Lampert Architects, P.A.
 Project Designer: JAMES B
 Drawn By: JRB
 Checked By: LL

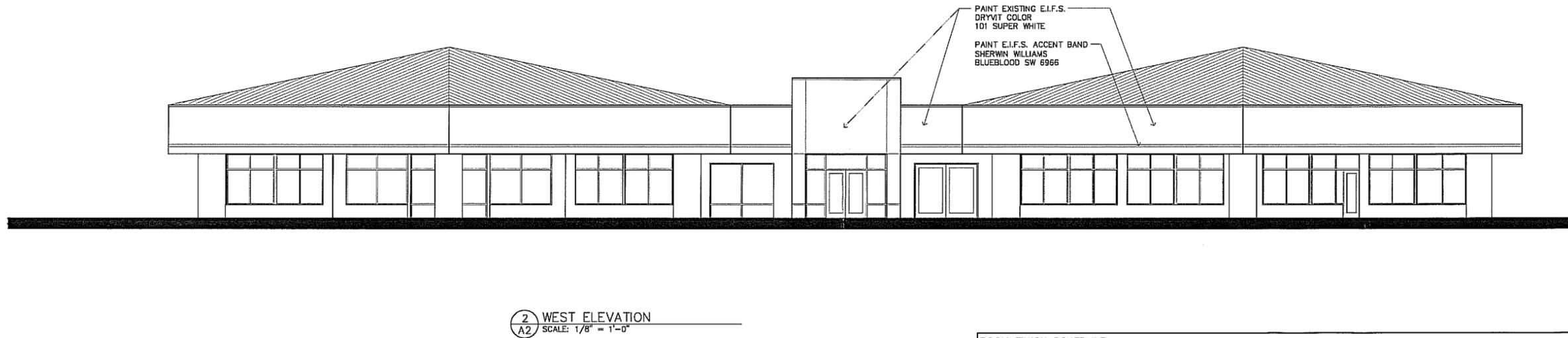
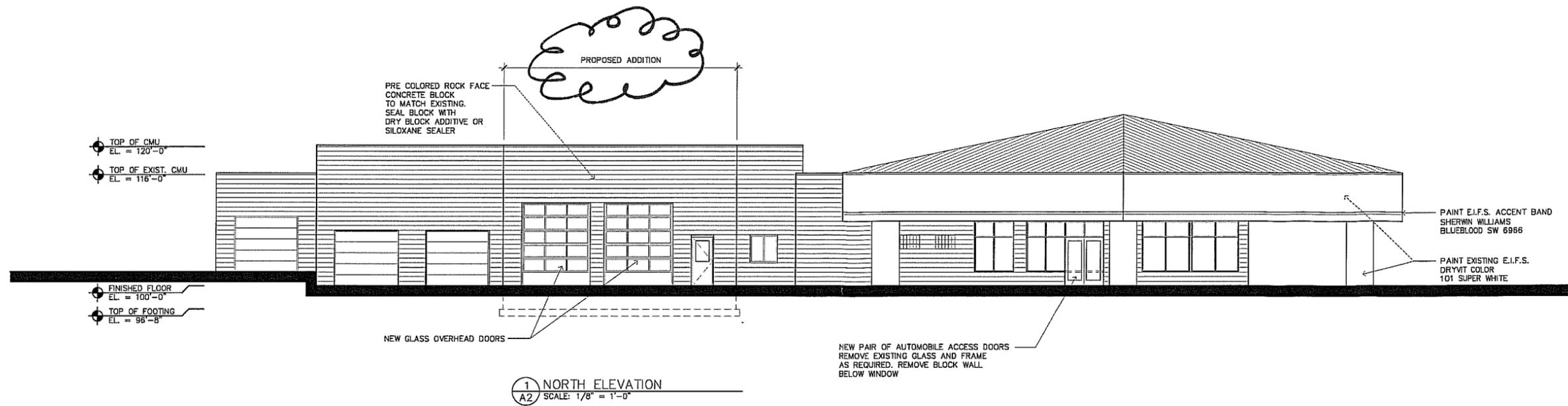
Revisions

2/16/11	PRELIMINARY

SITE PLAN

Sheet Number

A3



RM#	DESCRIPTION	FLOOR	BASE	N.WALL	E.WALL	S.WALL	W.WALL	CLG.	HGHT	REMARKS
101	VESTIBULE									NO WORK
102A	LOUNGE A	CARPET	CARPET	PAINT 1	PAINT 1	PAINT 1	PAINT 1	EXISTING		P.T. AT KITCHEN
102B	LOUNGE B	P.T.	P.T.	PAINT 1	PAINT 1	PAINT 1	PAINT 1	EXISTING		
103	SHOWROOM	EXISTING		PAINT 1	PAINT 1	PAINT 1	PAINT 1	PAINT 2		DOORS AND FRAMES - PAINT 2
104	OFFICE	CARPET	CARPET	PAINT 3	PAINT 3	PAINT 3	PAINT 3	EXISTING		
105	OFFICE	CARPET	CARPET	PAINT 3	PAINT 3	PAINT 3	PAINT 3	EXISTING		
106	PARTS STORAGE	EXISTING		PAINT 1	PAINT 1	PAINT 1	PAINT 1	EXISTING		
107	PARTS PICK-UP	EXISTING		PAINT 1	PAINT 1	PAINT 1	PAINT 1	EXISTING		
108	LOCKER ROOM	EXISTING		PAINT 1	PAINT 1	PAINT 1	PAINT 1	EXISTING		
109	PLAY AREA	CARPET	CARPET	PAINT 3	PAINT 3	PAINT 3	PAINT 3	EXISTING		
110	MEN	EXISTING		PAINT 1	PAINT 1	PAINT 1	PAINT 1	EXISTING		
111	WOMEN	EXISTING		PAINT 1	PAINT 1	PAINT 1	PAINT 1	EXISTING		
112	MECHANICAL									NO WORK
113	STORAGE									NO WORK
114	OFFICE	CARPET	CARPET	PAINT 3	PAINT 3	PAINT 3	PAINT 3	EXISTING		
115	OFFICE	CARPET	CARPET	PAINT 3	PAINT 3	PAINT 3	PAINT 3	EXISTING		
116	VESTIBULE									NO WORK
117	SHOWROOM	EXISTING		PAINT 1	PAINT 1	PAINT 1	PAINT 1	PAINT 2		DOORS AND FRAMES - PAINT 2
118	OFFICE	CARPET	CARPET	PAINT 3	PAINT 3	PAINT 3	PAINT 3	EXISTING		
119	WOMEN	EXISTING		PAINT 1	PAINT 1	PAINT 1	PAINT 1	EXISTING		
120	MEN	EXISTING		PAINT 1	PAINT 1	PAINT 1	PAINT 1	EXISTING		
121	WRITE-UP	P.T.	P.T.	PAINT 1	PAINT 1	PAINT 1	PAINT 1	PAINT	PAINT	MATCH EXISTING CLG PAINT COLOR
122	OFFICE									NO WORK
123	OFFICE									NO WORK
124	SERVICE AREA									NO WORK
125	TOOL STORAGE									NO WORK
126	BREAK ROOM									NO WORK
127	CAR WASH	EXISTING		PAINT 1	PAINT 1					
201	MEZZANINE									NO WORK

ABBREVIATIONS:
 PAINT 1 = SHERWIN WILLIAMS, REPOSE GRAY - SW 7015
 PAINT 2 = SHERWIN WILLIAMS, GAUNTLET GRAY - SW 7019
 PAINT 3 = SHERWIN WILLIAMS, RESPITE - SW 6514
 P.T. = 12"x12" PORCELAIN TILE, DAL TILE DIAMONTE ARDESIA, P027 POLISHED
 CARPET = SHAW CARPET, HARBOURING DESIRE CULTURE 50912, W7015



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 Revisions

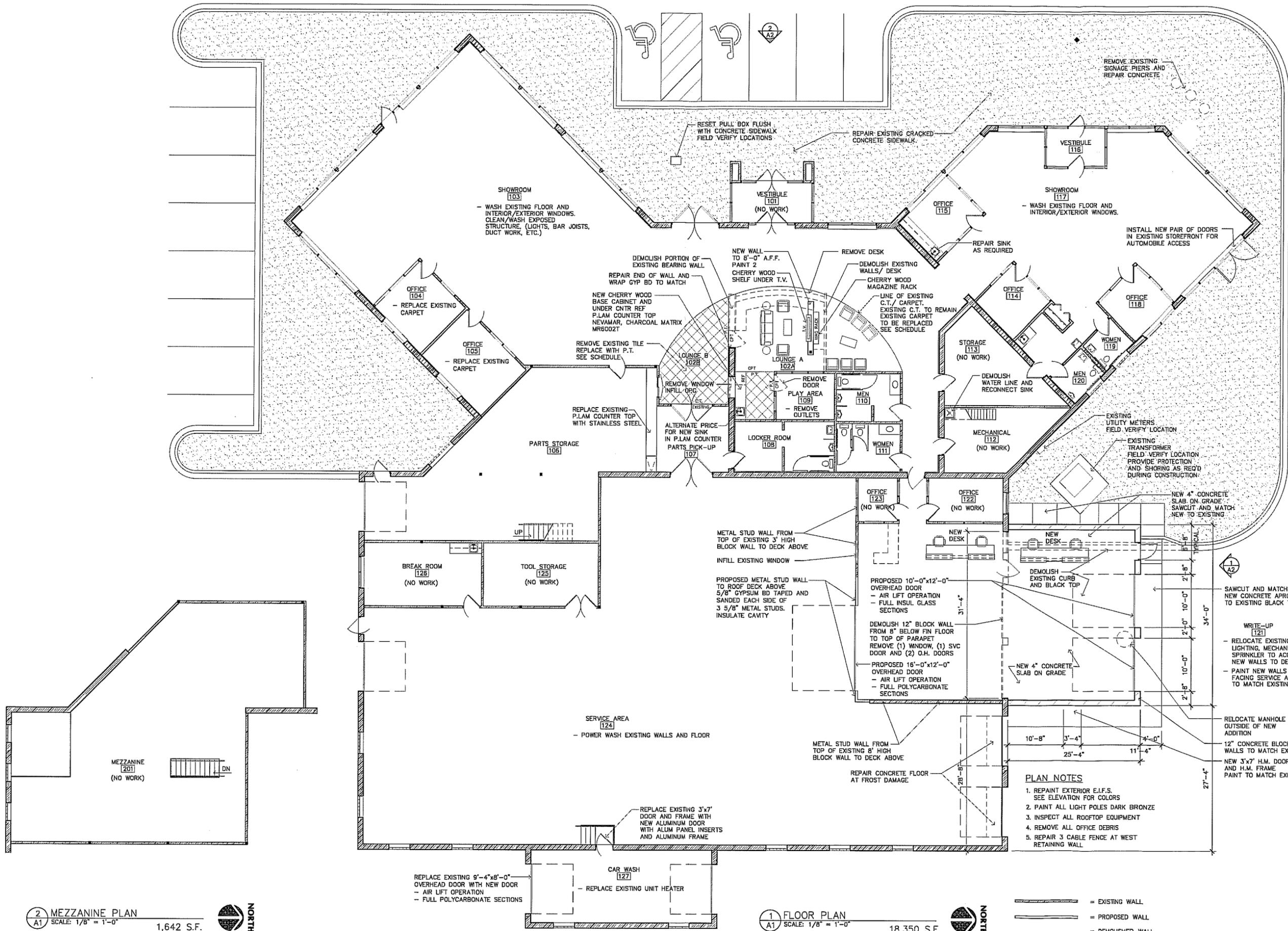
2/4/11	PRELIMINARY

BUILDING ELEVATIONS

Sheet Number

A2
 Project No. 110126-1

Filename: INVER GROVE HYUNDAI\INVER GROVE HYUNDAI-A1



2 MEZZANINE PLAN
A1 SCALE: 1/8" = 1'-0" 1,642 S.F.

1 FLOOR PLAN
A1 SCALE: 1/8" = 1'-0" 18,350 S.F.



LAMPERT ARCHITECTS

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St. Paul, MN 55102
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lampert@lampert-arch.com

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PRELIMINARY NOT FOR CONSTRUCTION



Commercial Design and Construction

INVER GROVE HYUNDAI
Inver Grove Heights, MN

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Leonard Lampert Architects, P.A.
Project Designer: JAMES B
Drawn By: JRB
Checked By: LL

Revisions	Date	Description
1	2/4/11	PRELIMINARY

FLOOR PLAN

Sheet Number

A1

Project No. 110126-1

P L A N N I N G R E P O R T
CITY OF INVER GROVE HEIGHTS

REPORT DATE: March 10, 2011

CASE NO: 11-01Z

APPLICANT: City of Inver Grove Heights

PROPERTY OWNER: GLC Properties, LLC

REQUEST: Rezoning

HEARING DATE: March 15, 2011

LOCATION: 5500 Blaine Avenue

COMPREHENSIVE PLAN: RC, Regional Commercial

ZONING: A, Agricultural

REVIEWING DIVISIONS: Planning
Engineering

PREPARED BY: Allan Hunting
City Planner

BACKGROUND

Gertens recently applied for a PUD Amendment to add an additional 300,000 square feet of greenhouse space to the Gerten Greenhouse operation. The City Council approved the request on February 28, 2011. Part of the discussion and part of Staff recommendation for the PUD amendment was to request the City Council initiate a rezoning of the parcel that is located at the corner of Upper 55th Street and Blaine Avenue. The parcel is owned by Gerten Greenhouses and is currently being used for open storage of plant material. The property is currently zoned A, Agricultural. The parcel in question is 10.7 acres in size. The property currently contains approximately 90-95% growing fields.

Based on Council direction, staff has initiated the public hearing process to consider the rezoning of the corner parcel at Upper 55th Street and Blaine Avenue (see attached maps). Gertens has indicated they do not object to the rezoning petition, however, they have not stated their position on this matter.

The specific requests consist of the following:

- a) Rezoning of the parcel from A, Agricultural District to Comm PUD, Commercial Planned Unit Development District.

EVALUATION OF THE REQUEST

The following land uses, zoning districts and comprehensive plan designations surround the subject property:

North Gerten Greenhouses; zoned PUD, guided RC

East Gertens growing fields; zoned PUD; guided RC

West Retail strip centers, office building, office building; zoned PUD; guided RC

South Commercial buildings, office buildings; zoned PUD; guided RC, Office

HISTORY

Gertens has gone through a number of changes and expansions over the years. The first city approval was in 1989 and the latest approval occurred in 2003. Up until 1998, there were 9 conditional use permit approvals that governed the land use. The business has increased in size by expanding its retail store and expanded its greenhouses and growing fields, primarily on the east side of Blaine Avenue. In 1998, the City approved several ordinance changes and PUD approvals to govern the use through the Bishop Heights PUD rather than through conditional use permits. Currently, Gertens is governed primarily by one ordinance which covers and regulates the facilities on the east side of Blaine. There is a separate ordinance that covers the facilities on the west side of Blaine, the “rock and block yard”, a temporary use, and the professional services office building. A planned unit development approval provides additional conditions of approval for the business. There are some portions of the business that are not governed under any current city approvals. These areas include the two growing fields on the south side along Upper 55th Street (which were established around 2002) and growing fields on the far eastern portion of the site at the end of Brent Avenue. The use of these parcels has been the subject of much discussion over the years between the City and Gertens. No definitive land use policy decision has been made by the Council on this matter to date.

The Southeast Quadrant of Interstate 494 and the Lafayette Freeway (Highway 52) has been recognized as a premier gateway property to Inver Grove Heights. The City’s vision for this area, including the Gerten Greenhouse property, is to encourage high quality commercial uses that would enhance the City’s image, increase employment opportunities and create a substantial tax base, and provide a diversity of goods and services.

The City has anticipated regional commercial development in the Southeast Quadrant for many years. Planning for commercial development for this part of the City began back in 1985 when the first land use study which emphasized commercial development was completed. Further studies were done and comprehensive plan amendments were approved over the years to change the emphasis of the quadrant from residential to provide substantially more retail and commercial

uses. The City's goal throughout these planning efforts was consistent – to encourage significant commercial development in the Southeast Quadrant. The City's vision has materialized for much of the quadrant starting in 1997 when construction began on the 16-screen theater and hotel. Since that time, the quadrant has seen the construction of other hotels, restaurants, a gas station, bank, office building, automobile service stores and three strip center commercial buildings. There are still some highly visible parcels yet to redevelop in the quadrant with considerable commercial potential.

REZONING

When the City adopted the 2020 Comprehensive Plan, all of the land in the Southeast Quadrant was designated RC, Regional Commercial. In 2001, the City began the process of both updating the zoning map so it would be consistent with the comprehensive plan and updating the zoning ordinance. During the zoning ordinance update, zoning categories were created to address the undeveloped land within the Southeast Quadrant because the PUD ordinance specific to the southeast quadrant or Bishop Heights, is modified each time to address that specific use. There needed to be categories with allowed and conditional uses for the undeveloped property. Three different planned unit development categories were created; Comm-PUD, Office-PUD and MF-PUD Multiple Family PUD. All were designed something like holding zones such that the zoning was consistent with the comprehensive plan and therefore any development application required rezoning and PUD approval to be added to the Southeast Quadrant.

Other properties within the Southeast quadrant without an approved PUD plan were rezoned to the Comm-PUD category in 2002. Staff is recommending the subject parcel be zoned to Comm-PUD.

The Zoning Ordinance identifies a purpose for the Comm-PUD district which is as follows:

“The Lafayette neighborhood is a unique area to the city and is the subject a component of the city comprehensive plan. The Lafayette neighborhood comprehensive plan component encourages growth in the area by means of the planned unit development approach. As commercial uses or developments are proposed in the neighborhood and are found compatible by the city, the ordinance specific to the Lafayette neighborhood will be amended by adding the new use/development for the subject property.”

The term “Lafayette neighborhood” referenced in the zoning ordinance is an old reference name for the Southeast Quadrant or Bishop Heights Area. This old section of the 2020 comprehensive plan was folded into the land use section of the 2030 plan. What the district was set up to do was to provide a general guidance for the type of uses allowed in the area and acknowledged that any development would still need city council approval and an amendment to the PUD ordinance governing the southeast quadrant before construction could begin.

The zoning ordinance provides a list of the uses that are either conditional uses or accessory uses. The list was set up rather narrow deliberately to give a feel of the allowed uses, yet it is recognized that similar uses would be considered as part of a PUD application for development. The PUD approach was used to provide the city some flexibility in use type. As stated earlier, the city’s vision for the area is to provide a broad mix of commercial retail, service and office uses that are of an intensity of a regional scale. The types of uses listed in the ordinance include:

Non retail Art Studio Bakeries – retail Barber/beauty shop Bicycle sales and repair Bookstore Construction office/trailer, temporary Copy center Dessert shop Dry cleaning/laundry Essential services Gift shop Jewelry store Liquor store Medical and dental clinics	Medical complexes and facilities Motel/hotel Music studio – non retail Office building Optical/eyewear sales Photography studio Picture framing Professional Offices Research and development facilities Restaurant (non fast food) General Retail Dance, exercise studios Tanning salon Theater (movie) Veterinary clinic
--	--

This list was meant to show the direction of the type of uses the City wanted for the area. As each parcel of land develops, the particular proposed use is then added specifically to the overall PUD zoning for the area. There some parcels that have been approved with uses not shown on the above list.

To further the City’s goal of achieving retail/office uses in the quadrant and especially along Upper 55th Street, the subject parcel at the corner of Upper 55th and Blaine should be looked at for rezoning to Comm PUD is important. The parcel is currently zoned A, Agricultural and has growing fields on it. In order to further protect the City’s interests, a rezoning of this parcel to Comm PUD would be consistent with the Comprehensive Plan designation which is RC, Regional Commercial and would be consistent with the goal of retail or office uses along the Upper 55th Street frontage. With this zoning, the site could remain as a growing field, but would not be allowed to expand with any other structures or greenhouses without Council approval of an amendment to the existing PUD.

COMPREHENSIVE PLAN CONSISTENCY

The property along both sides of Blaine, north of Upper 55th, including the subject parcel is guided RC, Regional Commercial. The 2030 Comprehensive Plan identifies the Regional Commercial designation as the following:

“Regional commercial areas are lots or parcels containing large-scale retail sales and services along arterial roadways that serve the region. As the name implies, goods and services offered in such areas appeal to a wide range of consumers, many whom are willing to travel a significant distance to patronize various business establishments. Regional Commercial districts are intended for large “big box” users. These types of uses serve as anchors for other small to mid-sized commercial uses that benefit by the traffic generated by the anchors.”

The Comprehensive Plan identifies this portion of the City (southeast quadrant) as a developing area bounded by I-494, the Lafayette Freeway and Upper 55th Street which has excellent exposure to regional transportation facilities.

Some of the Regional Commercial Areas Policies that are relevant to this application include:

- “1. Provide regional commercial areas to supply goods and services that appeal to a broad base of customers.”
- “6. Require high quality building materials for structures in regional commercial areas.”
- “9. Consider long term strategies for future reuse/reconfiguration of regional commercial centers during the initial planning stages.”
- “10. Encourage a mix of commercial uses within regional centers that share varying peak period traffic and parking patterns to help manage traffic congestion and allow for shared parking opportunities.”

The City has had a long standing goal of encouraging commercial development throughout the city and the Southeast Quadrant is recognized as one of the primary areas for such development. Cities, including Inver Grove Heights, seek commercial development to achieve an expanded tax base, increase employment and provide a greater diversity of goods and services for the residents.

Development Potential for the Parcel. Staff did a conceptual comparative analysis of the land area requested to be rezoned to determine the type and amount of commercial or office development that could occur on this area. Using aerial photography, staff overlaid a project in the area (Aspen Medical Building) on to the land that is used for growing fields along Upper 55th Street. Based on this conceptual analysis, there does appear to be enough space along Upper 55th Street to have commercial or office development that would satisfy the primary goals of the City in this area to

provide a good tax base, expanded employment and providing a diversity of goods and services. For my analysis, I excluded areas that will be used for storm water ponding and the pipeline easement that exists on this property. An office building of approximately 56,000 square feet could fit on the parcel. The potential for employee growth could be approximately 112 for the office building example.

Storm Water Impact. As part of the review of the greenhouse expansion, the Engineering Department looked at the storm water needs of the remaining undeveloped parcels in the Southeast Quadrant. Based on existing systems and modeling of storm events, with on-site improvements, storm water runoff from future development can be accommodated within the system.

ALTERNATIVES

The Planning Commission has the following actions available on the following requests:

- A. **Approval.** If the Planning Commission finds the application to be acceptable, the following action should be taken:
- Approval of an Ordinance Amendment to Rezone the property from A, Agricultural District to Comm-PUD, Commercial Planned Unit Development District.
- B. **Denial.** If the Planning Commission does not favor the proposed application the above request should be recommended for denial. With a recommendation for denial, findings or the basis for the denial should be given.

RECOMMENDATION

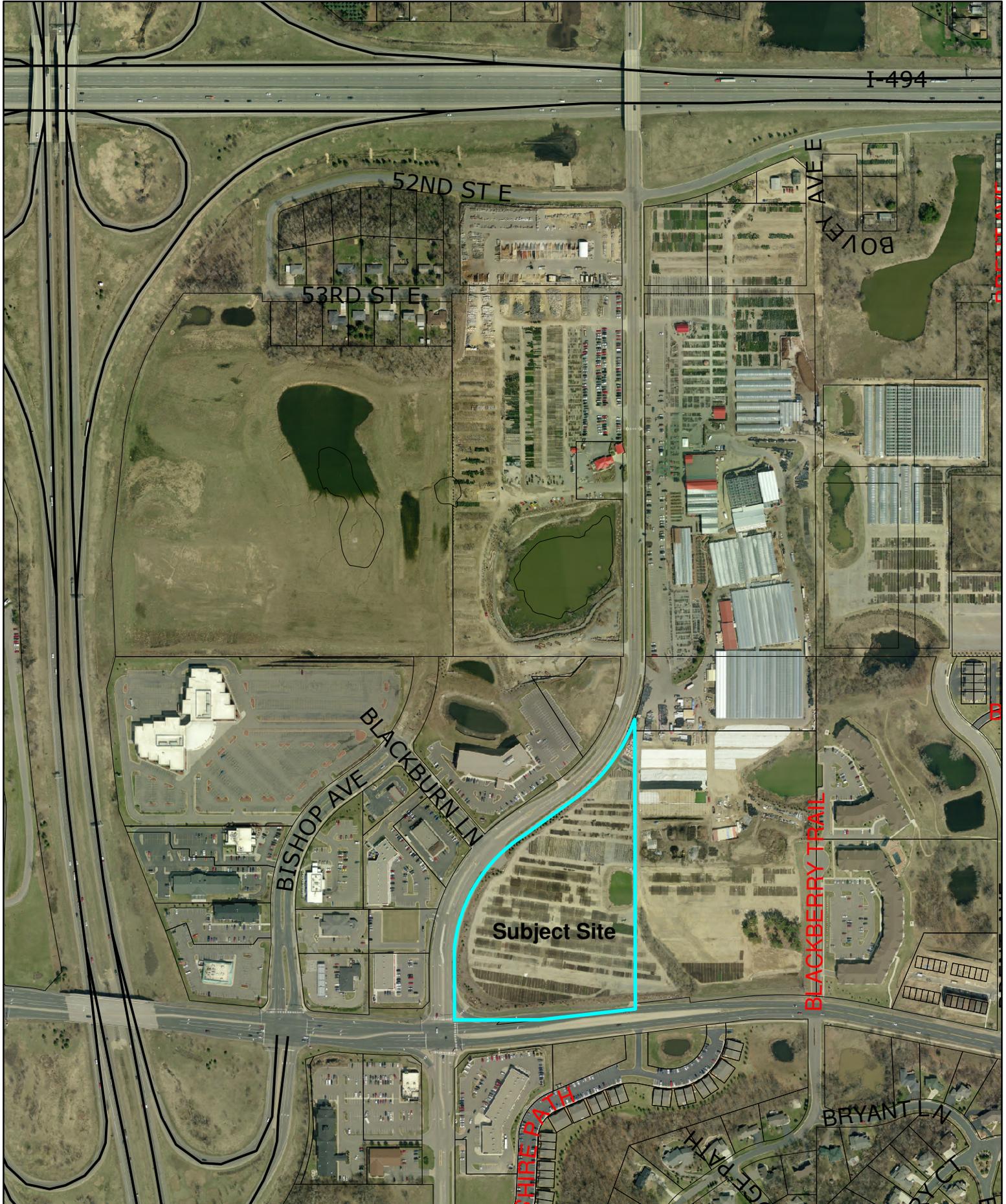
A rezoning would be consistent with the comprehensive plan designation for the property which is Regional Commercial. The rezoning would also be consistent with other properties in the southeast quadrant that are zoned Comm-PUD before a specific development plan is approved.

Attachments: Location Map
Comprehensive Plan Map
Current Zoning Map
Proposed Zoning Map



Location Map

Case No. 11-01Z





Comp Plan Map

Case No. 11-01Z

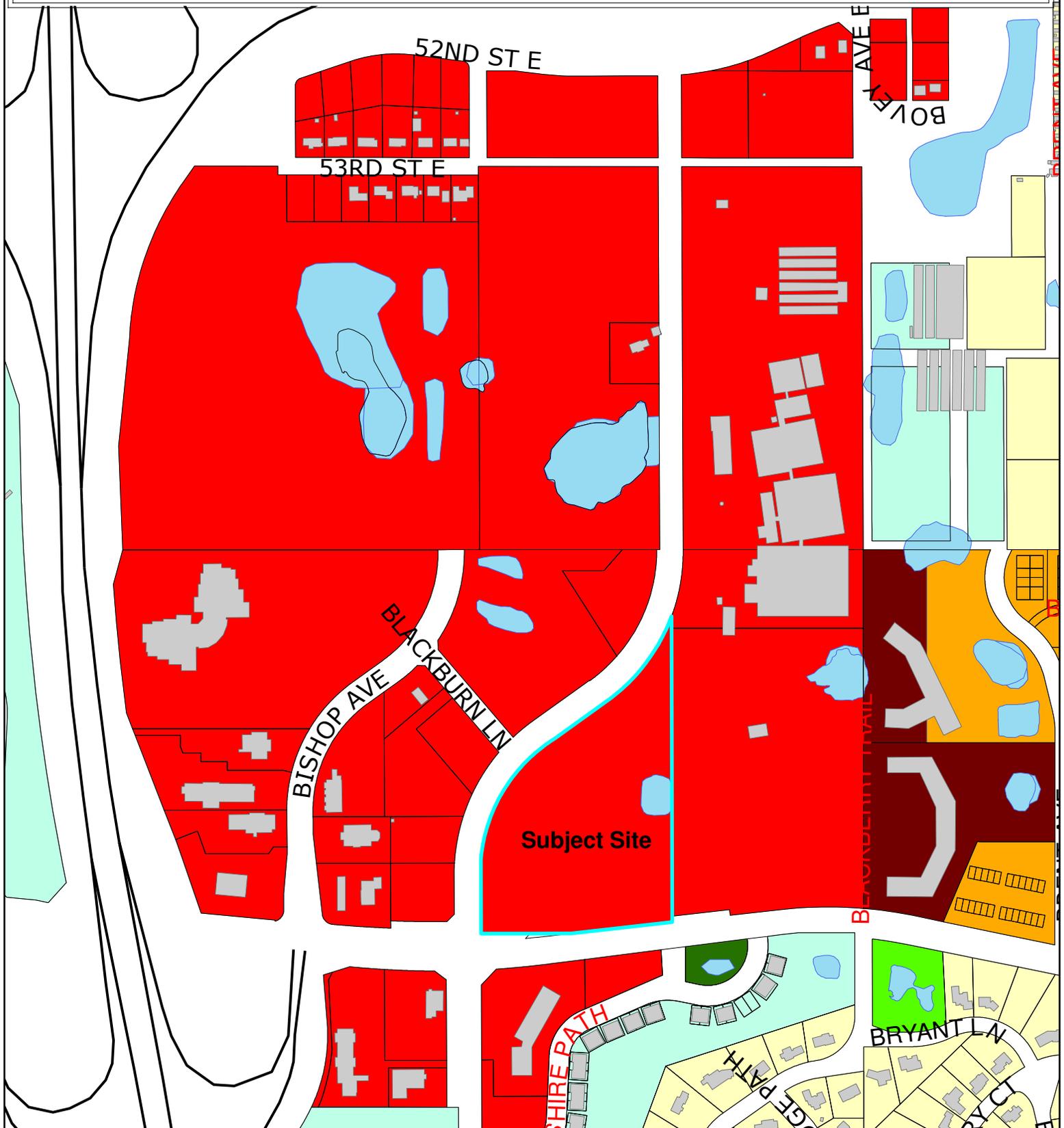


Legend

2030 Land Use Plan

parcels_051208.PPLU_HKGi

Low-Medium Density Residential	Community Commercial	Industrial Office Park	Public / Institutional	Open Water / Wetlands
Medium Density Residential	Regional Commercial	Light Industrial	Public Park / Open Space	
Rural Density Residential	High Density Residential	Mixed Use	Private Open Space	
Low Density Residential	Neighborhood Commercial	Office	General Industrial	Rail Road
		Industrial Open Space		





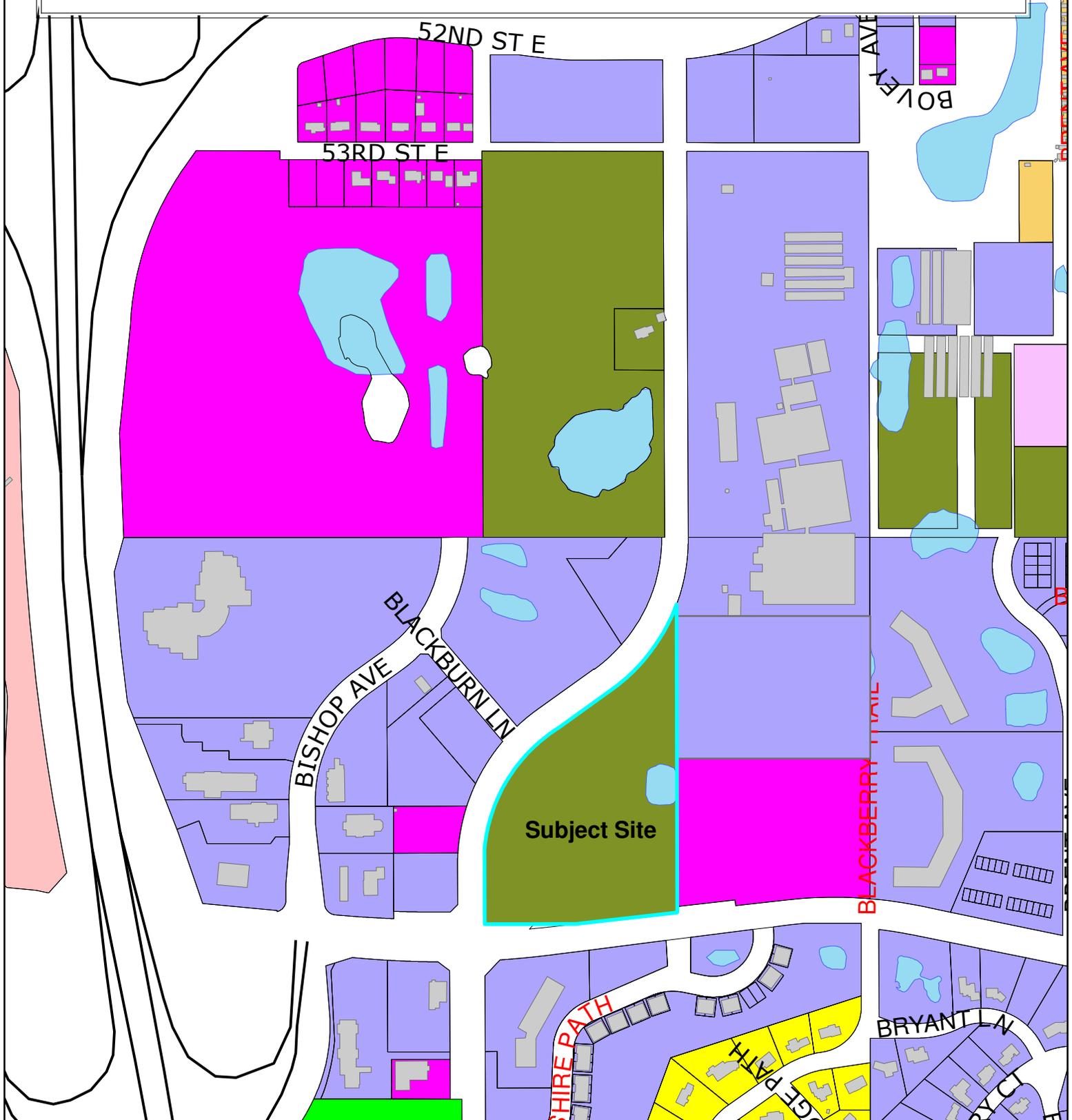
Current Zoning Map

Case No. 11-01Z



Legend

A, Agricultural	R-1C, Single Family (0.25 ac.)	R-4, Mobile Home Park	OP, Office Park	I-1, Limited Industrial
E-1, Estate (2.5 ac.)	R-2, Two-Family	B-1, Limited Business	PUD, Planned Unit Development	I-2, General Industrial
E-2, Estate (1.75 ac.)	R-3A, 3-4 Family	B-2, Neighborhood Business	OFFICE PUD	P, Public/Institutional
R-1A, Single Family (1.0 ac.)	R-3B, up to 7 Family	B-3, General Business	Comm PUD, Commercial PUD	Surface Water
R-1B, Single Family (0.5 ac.)	R-3C, > 7 Family	B-4, Shopping Center	MF PUD, Multiple-Family PUD	ROW





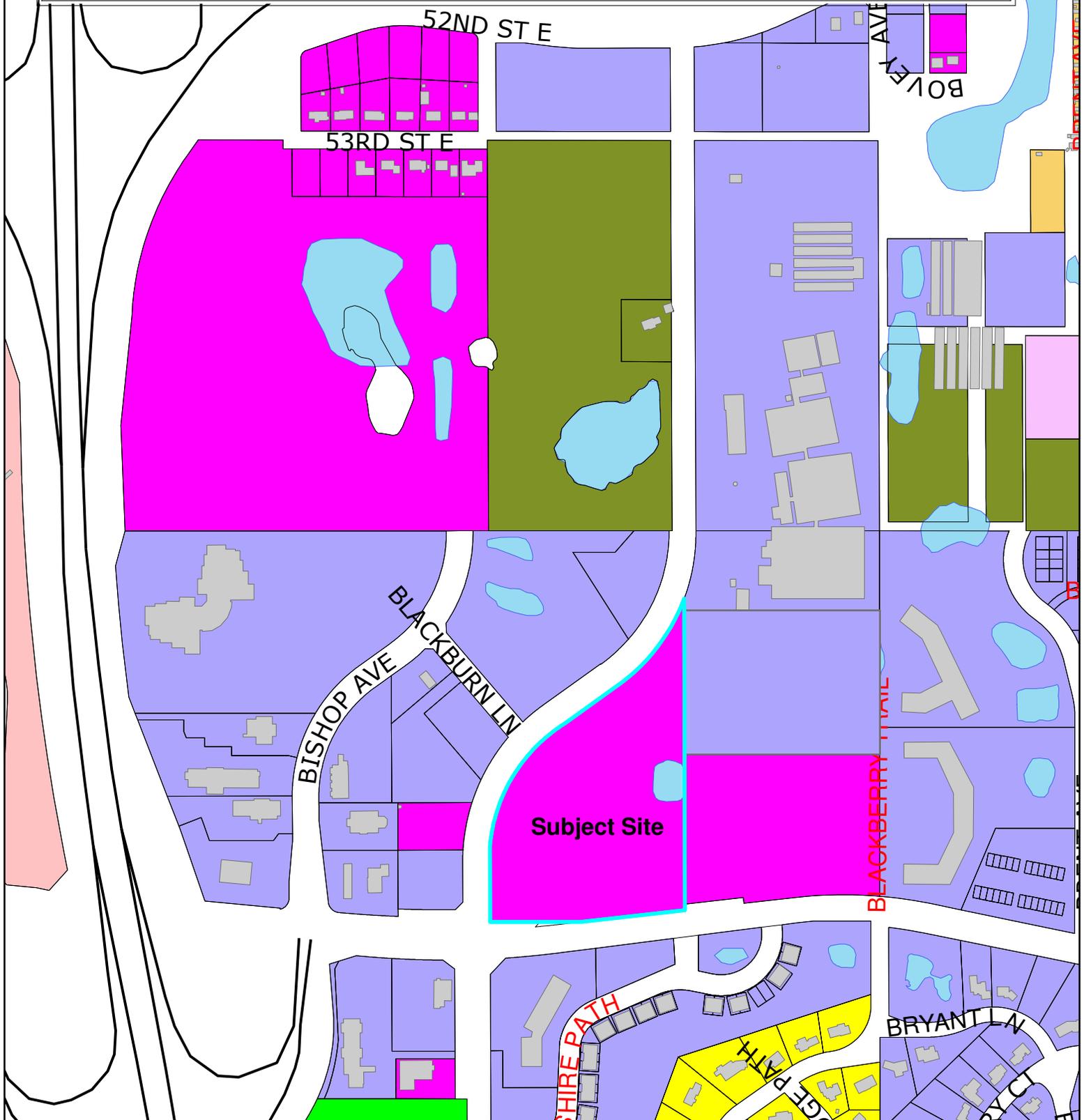
Proposed Zoning

Case No. 11-01Z



Legend

par_own selection	R-1C, Single Family (0.25 ac.)	B-1, Limited Business	OFFICE PUD	Surface Water
A, Agricultural	R-2, Two-Family	B-2, Neighborhood Business	Comm PUD, Commercial PUD	ROW
E-1, Estate (2.5 ac.)	R-3A, 3-4 Family	B-3, General Business	MF PUD, Multiple-Family PUD	
E-2, Estate (1.75 ac.)	R-3B, up to 7 Family	B-4, Shopping Center	I-1, Limited Industrial	
R-1A, Single Family (1.0 ac.)	R-3C, > 7 Family	OP, Office Park	I-2, General Industrial	
R-1B, Single Family (0.5 ac.)	R-4, Mobile Home Park	PUD, Planned Unit Development	P, Public/Institutional	



existing building and canopy also meet current setbacks. All setback requirements have been met.

Parking. The applicant is proposing two additional fuel pumps. The City Code allows the spaces at the fuel pumps to be counted as parking spaces. The site requires 12 parking spaces total; the proposed site plan demonstrates 18 spaces, meeting the code requirements.

Lot Coverage. Allowable impervious surface coverage in the B-3 district is 100%. While no additional impervious surface is being added, a calculation was done to determine compliance. The site currently contains approximately 82.5% impervious surface which falls under the allowed maximum.

Landscaping. The City Code requires 16 trees or the equivalent to be planted on site. The landscaping plan reflects the correct number of plantings. The landscaping plan shall be modified to relocate the plantings out of the existing utility easement.

Roof Top Equipment. As a consistent policy of commercial development, any roof top equipment should be screened from view from the street. If necessary, the form of screening will be reviewed at time of building permit.

Screening. City Code requires trash enclosures to be screened from view by fencing consisting of wood, brick, or combination thereof. The proposed screening complies with zoning code standards.

Building Materials. All four sides of the building shall have an equally attractive or the same fascia as the front of the building. The proposed building materials comply with zoning code standards.

Park and Recreation. The Parks Department has reviewed the request and commented that the City is working on the identification of gaps in our trail and sidewalk system. There is a gap in the system between Cahill Avenue and 5th Street along 57th Street. The City is kindly requesting the applicant grant a 15' trail/sidewalk easement across the northern property line along 57th Street so that in the future, the City may consider the construction of a sidewalk/trail. The trail easement would be located over an existing 20' utility easement located along the north property line.

Engineering. The City, as a MS4 community, has been required by the Minnesota Pollution Control Agency (MPCA) to implement infiltration and storm water management practices in conjunction with redevelopment sites. The non-degradation guidance is in place to reduce the volume of run-off, sediment, phosphorous, and total suspended solids leaving the site.

In compliance with MPCA guidance, staff has discussed the addition of storm water quality facilities with the owner. The owner has added a rain garden to their plans to treat the storm run-off from a portion of the existing impervious surface. Engineering has made some recommendations on conditions that should be added to the approval. These conditions are included in the list of conditions at the end of this report. The applicant shall continue to work with the City to secure final approval of the construction drawings.

Fire Marshal Review. All plans shall be subject to the review and approval of the City Fire Marshal for fire lane designation and the signage or marking of the fire lanes at time of building permit review.

General CUP Criteria

This section reviews the plans against the CUP criteria in the Zoning Ordinance (Section 10-3A).

1. *The use is consistent with the goals, policies and plans of the City Comprehensive Plan, including future land uses, utilities, streets and parks.*

The description of the Community Commercial District states that these areas are for lots that contain retail sales and services located along community collector and arterial roadways that serve the community. The proposed expansion and remodel would provide goods and services that are needed by the residents of Inver Grove Heights in an existing community shopping node. There would be no negative impacts on existing land uses, street systems or the park system.

2. *The use is consistent with the City Code, especially the Zoning Ordinance and the intent of the specific Zoning District in which the use is located.*

The applicant's property is zoned commercial. The land use of an automobile service station is consistent with the intent of the B-3 zoning district.

3. *The use would not be materially injurious to existing or planned properties or improvements in the vicinity.*

The surrounding property is developed with a mix of commercial uses to the south, west and east and residential to the north. The building expansion would not have a negative impact on the surrounding area as it lies within areas of the lot that are currently developed and used as part of the service station.

4. *The use does not have an undue adverse impact on existing or planned City facilities and services, including streets, utilities, parks, police and fire, and the reasonable ability of the City to provide such services in an orderly, timely manner.*

This commercial/residential neighborhood is all developed and the land use patterns set. The proposed addition would not have an adverse impact on fire protection or on any city service as the building expansion provides for a small addition to the service capability of the business.

5. *The use is generally compatible with existing and future uses of surrounding properties, including:*
 - i. *Aesthetics/exterior appearance*

The design of the building would be compatible with the surrounding uses. The proposed building materials meet our code requirements.

ii. Noise

The building addition is to provide additional convenience store space; no additional noise is expected.

iii. Fencing, landscaping and buffering

With minor changes to the landscape plan, the applicant is meeting the city's landscaping requirements.

6. *The property is appropriate for the use considering: size and shape; topography, vegetation, and other natural and physical features; access, traffic volumes and flows; utilities; parking; setbacks; lot coverage and other zoning requirements; emergency access, fire lanes, hydrants, and other fire and building code requirements.*

The property contains ample size to allow for the addition without impacting neighboring properties. The addition would be located over areas that are currently paved. The building addition would not have a negative impact on city services or emergency services.

7. *The use does not have an undue adverse impact on the public health, safety or welfare.*

This use does not appear to have any negative effects on the public health, safety or welfare.

8. *The use does not have an undue adverse impact on the environment, including, but not limited to, surface water, groundwater and air quality.*

This use would not have an undue adverse impact on the environment. The applicant is working with the City Engineering Department creating a stormwater treatment plan, reducing the amount of runoff on the property.

ALTERNATIVES

The Planning Commission has the following actions available on the following requests:

- A. **Approval.** If the Planning Commission finds the application to be acceptable, the following action should be taken:

- Approval of the **Conditional Use Permit Amendment** for an automobile service station to allow an expansion of the existing building subject to the following conditions:

1. The site shall be developed in substantial conformance with the following plans on file with the Planning Department except as may be modified by the conditions below.

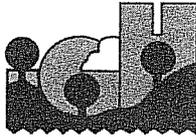
2. All final development plans shall be subject to the review and approval of the City Fire Marshal.
3. All exterior lighting shall be diffused or directed away from all property lines and public right-of-ways. The direct source of light shall not be visible from any abutting property or public right-of-way.
4. All signage requires issuance of sign permits which will require a complete sign inventory to verify proposed overall signage will comply with the code.
5. Prior to commencement of any grading, the final grading, drainage and erosion control, and utility plans shall be approved by the City Engineer.
6. A storm water facilities maintenance agreement shall be drafted by the City Attorney and executed by the owner prior to issuance of the certificate of occupancy.
7. Prior to the issuance of a building permit, an Engineering cash escrow of \$750 shall be submitted to ensure the proper construction of the improvements. In addition the City will utilize the cash escrow for the attorney's expenses, staff review time, engineering staff inspections, fees, and maintenance requirements. Any remaining escrow will be released when the project is completed, turf is established, punch list items have been addressed and approved by the City Engineer
8. The City Code Enforcement Officer, or other designee, shall be granted right of access to the property at all reasonable times to ensure compliance with the conditions of this permit.
9. The proposed landscaping located in the 20' utility easement shall be relocated out of the easement.
10. Any roof top screening must be screened from view.
11. Prior to the issuance of a building permit a 15' foot trail easement along the north property line shall be drafted by the applicant and approved and recorded by the City Attorney.
12. Resolution #5468 shall become null and void and replaced with the conditions of this permit.

B. Denial. If the Planning Commission does not favor the proposed application the above request should be recommended for denial. With a recommendation for denial, findings or the basis for the denial should be given.

RECOMMENDATION

Based on the information in the preceding report and the conditions listed in Alternative A, staff is recommending approval of the request.

Attachments: Location Map
Applicant Narrative
Plan Set



3240 - 57th Street

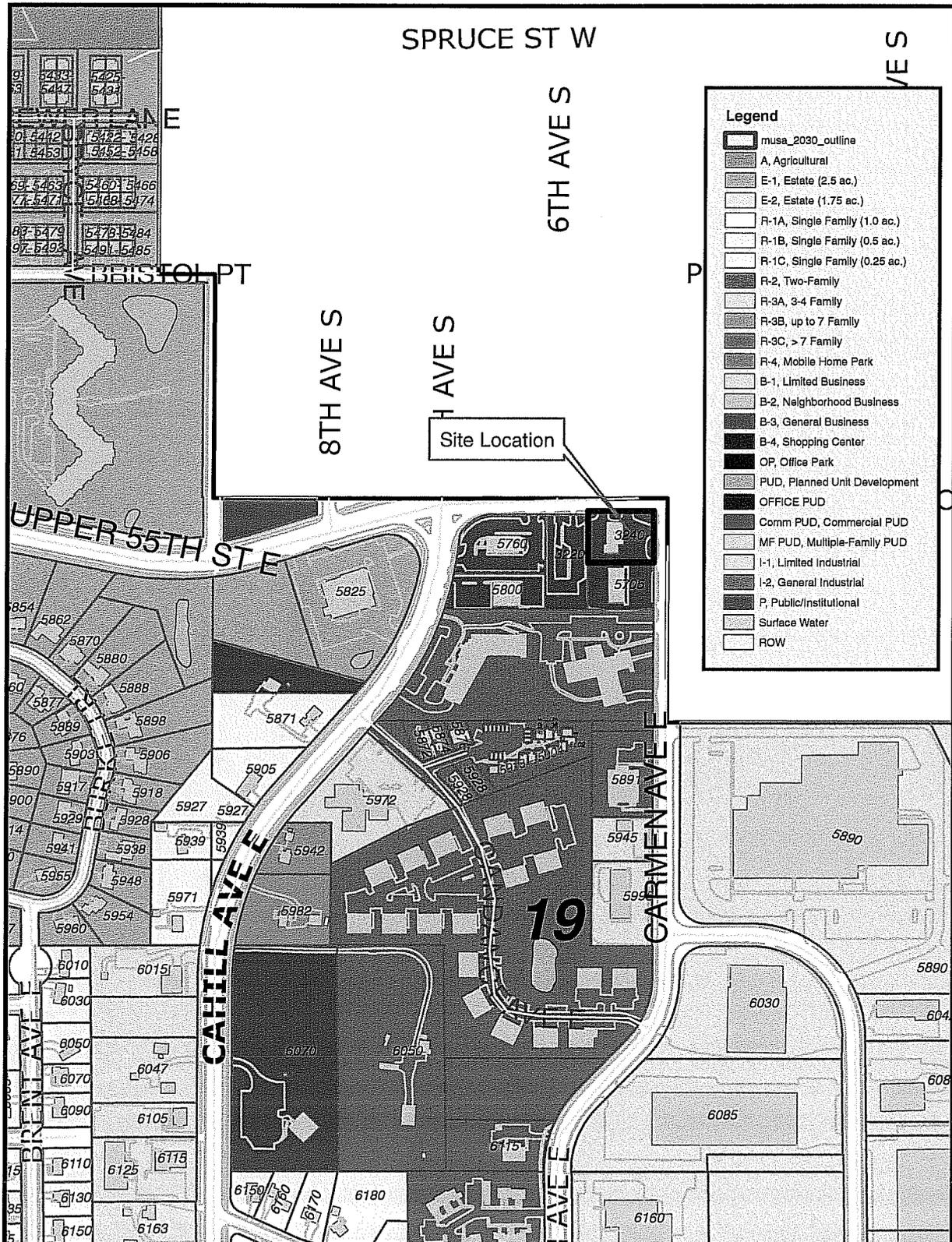


Exhibit A
Zoning Map

RIVER COUNTRY COOPERATIVE



February 14, 2011

To: City of Inver Grove Heights Planning Department

River Country Cooperative has purchased the old Oasis store at 3240 57th Street East and would like to improve and expand upon the store and pumps. Our plans include a 1000 square foot addition to the existing store, two additional fuel pumps, a canopy, a LP fill station, one additional buried fuel tank and additional landscaping.

In 1935, 44 local Dakota County folks put in a total of \$500 to start this customer owned cooperative. Today we operate eight convenience stores, three agronomy plants and a feed mill. Anyone can become a member or shop at our cooperative. Each year, our earnings go back to our member customers; the last few years we've returned over \$1,000,000 annually.

Thank you for your consideration. We're proud of our store on Concord Street in South St. Paul. Similarly, we also hope to operate a very nice store on 57th Street, that both Inver Grove Heights and River Country Cooperative can be proud of.

Sincerely,

Kevin G. Sexton

SITE BENCHMARK
 BM #1
 TOP MET HYDRANT WEST SIDE OF CARMEN AVENUE
 ELEV=817.24



NOTE:
 SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

PARKING STATUS			
	# OF NOZZLES	SPACES REQUIRED	SPACES PROVIDED
RCC	12	12	18

ACCESSIBLE PARKING			
VAN PARKING	1	REQUIRED	1 PROVIDED
ACCESSIBLE PARKING	0	REQUIRED	0 PROVIDED
TOTAL	1	REQUIRED	1 PROVIDED

AREA CALCULATIONS	
TOTAL AREA	1.01 ACRES (43,844 S.F.)
NON-RIGHT OF WAY AREA	0.66 ACRES (28,616 S.F.)
RIGHT OF WAY AREA	0.35 ACRES (15,224 S.F.)
PERVIOUS AREA (W/O ROW)	17.5% (4,998 S.F.)
IMPERVIOUS AREA (W/O ROW)	82.5% (23,618 S.F.)

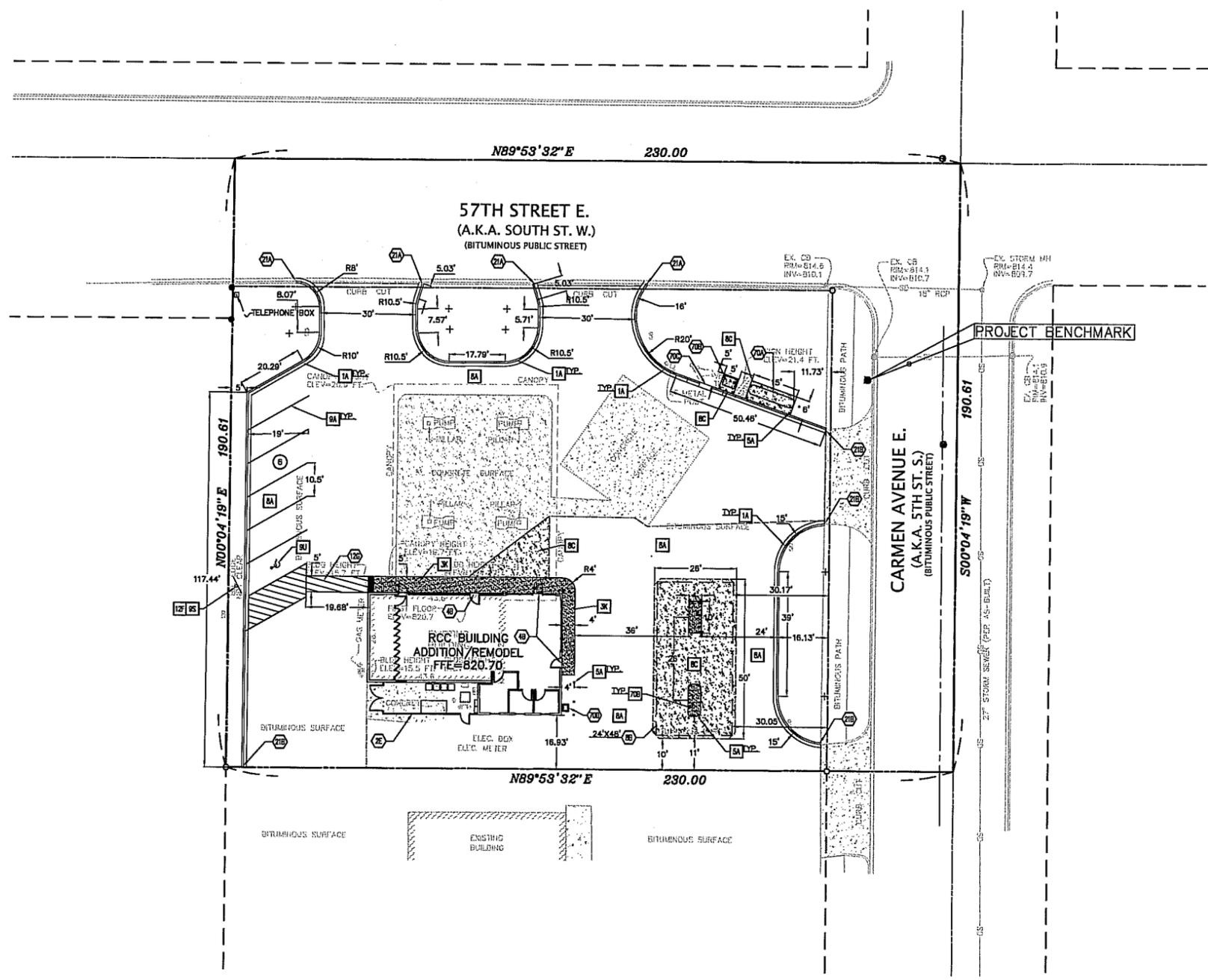
- EXISTING**
- DENOTES FOUND MONUMENT AS MARKED
 - DENOTES FOUND MONUMENT SET
 - WELL
 - WATER VALVES
 - HYDRANT
 - CATCH BASIN/STORM MH
 - CULVERT/F.E.S.
 - SANITARY MANHOLE
 - SANITARY CLEAN OUT
 - SIGN
 - UTILITY POLE
 - LIGHT POLE
 - HAND HOLE
 - TELE/ALEC BOX
 - GAS METER
 - GAS VALVE
 - ELECTRIC LINE
 - TELEPHONE LINE
 - FIBER OPTIC LINE
 - WATER LINE
 - STORM SEWER LINE
 - SANITARY SEWER LINE
 - FENCE
 - CURB

- PROPOSED**
- BOUNDARY LINE
 - RIGHT OF WAY LINE
 - CONCRETE CURB AND GUTTER. SEE DETAIL 1A
 - 32 PROPOSED PARKING SPACES
 - LIMITS OF SIDEWALKS AND CONCRETE APRONS (PER ARCH. PLANS)

- GENERAL SITE NOTES**
- A. ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - B. ALL CURB RETURN RADI SHALL BE 2' OR 10', AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.
 - C. UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS:
 - ALL CURB AND GUTTER ADJACENT TO ASPHALT PAVING SHALL BE INSTALLED PER DETAIL 1A.
 - ALL PARKING LOT STRIPING INCLUDING ACCESSIBLE AND VAN ACCESSIBLE SPACES SHALL BE PAINTED PER CITY STANDARDS.
 - D. ALL PARKING LOT SIGN BASE SUPPORTS SHALL BE INSTALLED PER DETAIL 12F.
 - E. ALL ACCESSIBLE PARKING STALLS SHALL HAVE SIGNAGE INSTALLED PER DETAIL 9S.

- SITE NOTES**
- 2E TRASH DUMPSTER ENCLOSURE (PER ARCH. PLANS)
 - 4B EXIT PORCH (PER ARCH. PLANS)
 - B3 OVERHEAD CANOPY - (TYP. PER ARCH. PLANS)
 - 12G 4 INCH WIDE PAINTED WHITE STRIPES. 2.0 FOOT O.C. @ 45 DEGREES SEE SIZE INDICATED AT SYMBOLS.
 - 21A TAPER CURB TO MATCH EXISTING CURB
 - 21B TAPER CURB FROM 8 INCHES TO 0 INCHES OVER 2 FEET
 - 70A PROPOSED 1,000 GALLON LP FILL TANK
 - 70B DOG HOUSE FOR LP FILL LINE
 - 70C RAIN GARDEN CURB CUT WITH TAPERS PER CITY OF IGH DETAIL PLATE NO. STM-13
 - 70D FREE STANDING AIR SYSTEM (PER ARCH. PLANS)

- SITE DETAILS**
- 1A TYPE A CONCRETE CURB AND GUTTER
 - 3C WHEELCHAIR RAMP IN SIDEWALK (TYPICAL AT EACH DRIVEWAY CURB RETURN)
 - 3K CONCRETE SIDEWALK
 - 5A GUARD POST (SINGLE)
 - 5A STANDARD DUTY ASPHALT PAVING
 - 5C HEAVY DUTY CONCRETE PAVING
 - 5A 60 DEGREE PARKING SPACE STRIPING
 - 9S ACCESSIBLE / VAN ACCESSIBLE PARKING SIGN
 - 8U ACCESSIBLE PARKING SYMBOL (SEE PAINT COLOR INDICATED AT SYMBOL)
 - 12F SIGN BASE



JOB # 11111 DRAWING: 28705-Proposing LAST SAVED BY: ACATCHPOOL

**PRELIMINARY SET
 NOT FOR CONSTRUCTION**

INITIAL DESIGN	2/10/11	ALC	ALC	ALC	
DATE	PRN	PM	DES	DRW	
RIVER COUNTRY COOPERATIVE					
Engineering Associates, Inc.					
ENGINEERS • PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS					
2277 West Highway 35, Suite 200 Roseville, MN 55113			(651)697-0800 (651)697-0804		
SITE PLAN 3240 57th STREET E RIVER GROVE HEIGHTS MN		DATE 3/7/11 9:35 AM PRELIM	SHEET NO. C3 of 6		

STORMWATER RUNOFF SUMMARY:

TOTAL PROPERTY AREA W/O ROW = ±0.66 ACRES OR 28,616 SF
 TOTAL DISTURBED AREA = ±0.30 ACRES < 1.00 THEREFORE AN NOI PERMIT WILL NOT BE REQUIRED.

1. ON-SITE AREAS & RUNOFF COEFFICIENTS:

PRE-DEVELOPMENT
 DRAINAGE AREA = 0.66 ACRES
 PERVIOUS AREA = 0.11 ACRES
 PERVIOUS "c" ASSUMED = 0.39
 IMPERVIOUS AREA = 0.55 ACRES
 IMPERVIOUS "c" ASSUMED = 0.88
 COMPOSITE "c" = 0.68

POST-DEVELOPMENT
 DRAINAGE AREA = 0.66 ACRES
 PERVIOUS AREA = 0.11 ACRES
 PERVIOUS "c" ASSUMED = 0.39
 IMPERVIOUS AREA = 0.55 ACRES
 IMPERVIOUS "c" ASSUMED = 0.88
 COMPOSITE "c" = 0.68

2. EXISTING SITE DISCHARGE RATES FOR 2-YR, 10-YR & 100-YR STORM EVENT:

Flow (cfs) Flow (cfs) Flow (cfs)
 Opre(2): 1.95 Opre(10): 3.36 Opre(100): 5.18

3. PROPOSED SITE DISCHARGE RATES FOR 2-YR, 10-YR & 100-YR STORM EVENT:

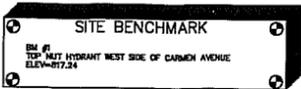
Flow (cfs) Flow (cfs) Flow (cfs)
 Oproposed(2): 1.95 Oproposed(10): 3.36 Oproposed(100): 5.18

4. SUMMARY:

THE PROPOSED SITE PEAK DISCHARGE RATES WILL BE EQUAL TO THE EXISTING CONDITION RATES. STORM WATER WILL SHEET DRAIN OFF THE SITE SIMILAR TO EXISTING CONDITIONS. NO ADVERSE IMPACTS TO THE ADJACENT PROPERTIES AND/OR R.O.W. ARE ANTICIPATED DUE TO THIS PROJECT.

RAIN GARDEN SUMMARY:

RAIN GARDEN IN NE CORNER OF PROPERTY WILL HANDLE IMPERVIOUS SURFACE RUNOFF FROM THE 0.5" STORM OR APPROXIMATELY 617 C.F. OF VOLUME.



GENERAL EROSION NOTES

- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STATE OF MINNESOTA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AREA, EQUIPMENT CLEANING AREA, EMPLOYEE BREAK AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS AND TOILET FACILITIES. THE EXACT LOCATIONS SHALL BE COORDINATED WITH THE OWNER'S CONSTRUCTION MANAGER.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT BETWEEN THESE MATERIALS AND STORM WATER THAT IS DISCHARGED FROM THE SITE.
- MAINTAIN ON THE SITE OR HAVE READILY AVAILABLE SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS TO CONTAIN AND CLEAN UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE CONTROLLED BY SPRAYING WATER ON DRY AREAS OF THE SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- NO RUBBISH, TRASH, GARBAGE OR OTHER SUCH MATERIALS SHALL BE DISCHARGED INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN SHALL BE INITIATED PRIOR TO THE START OF CONSTRUCTION.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL STOP FOR AT LEAST 21 DAYS, SHALL BE TEMPORARILY SEEDED WITHIN 14 DAYS.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE LANDSCAPING PLAN.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. THE EXACT LOCATIONS SHALL BE COORDINATED WITH THE OWNERS CONSTRUCTION MANAGER.
- ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS.
- IF SOIL STOCKPILING IS EMPLOYED ON THE SITE, SILT FENCES SHALL BE USED TO HELP CONTAIN THE SEDIMENT.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER FINAL STABILIZATION. FINAL STABILIZATION HAS OCCURRED WHEN ALL SOIL DISTURBING ACTIVITIES ARE COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% OF THE COVER FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES HAS BEEN EMPLOYED.

MAINTENANCE
 ALL MEASURES STATED ON THIS PLAN SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF THE RAINFALL EVENT, AND SHOULD BE CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR SHALL BE REPLACED IF THEY SHOW SIGNS OF DETERIORATION.
- ALL SEEDED/SODDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED AND RESEEDED AS NEEDED.

- SEQUENCE OF CONSTRUCTION:**
- INSTALL INLET PROTECTION.
 - DEMO SITE AS NEEDED.
 - START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
 - TEMPORARILY SEED DENUDATED AREAS.
 - INSTALL UTILITIES, CURBS AND GUTTERS.
 - PREPARE SITE FOR PAVING.
 - PAVE SITE.
 - COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
 - REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED).

EXISTING

- DENOTES FOUND MONUMENT AS MARKED
- DENOTES FOUND MONUMENT SET
- WELL
- WATER VALVES
- HYDRANT
- CATCH BASIN/STORM MH
- CULVERT/F.E.S.
- SANITARY MANHOLE
- SANITARY CLEAN OUT
- SIGN
- UTILITY POLE
- LIGHT POLE
- HAND HOLE
- TELE/ELEC BOX
- GAS METER
- GAS VALVE
- ELECTRIC LINE
- TELEPHONE LINE
- FIBER OPTIC LINE
- WATER LINE
- STORM SEWER LINE
- SANITARY SEWER LINE
- FENCE
- CURB

PROPOSED

- BOUNDARY LINE
- RIGHT OF WAY LINE
- GRADE BREAK
- XXX--- CONTOUR ELEVATIONS
- xx.xx SPOT ELEVATIONS:
 C = TOP OF CURB
 G = GUTTER
 C = CONCRETE
 FG = FINISHED GRADE

GENERAL GRADING NOTES

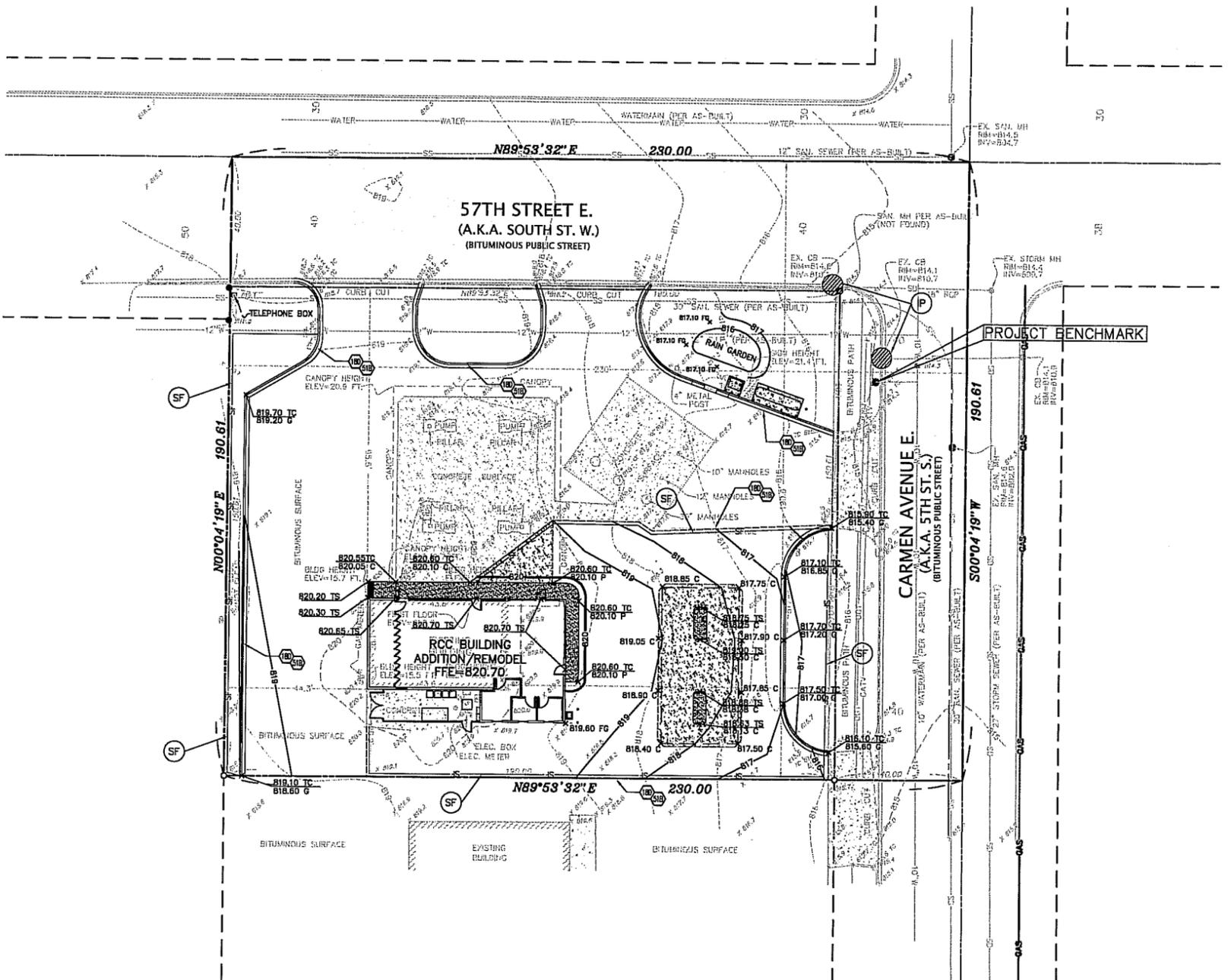
- PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER IS NOT NOTIFIED OF DESIGN CONFLICTS.
 - ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND 4" OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS.
- ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.

GRADING UTILITIES

- 160 MATCH EXISTING PAVEMENT ELEVATIONS
- 518 LIMITS OF SAWCUT AND PAVEMENT REMOVAL

GRADING DETAILS

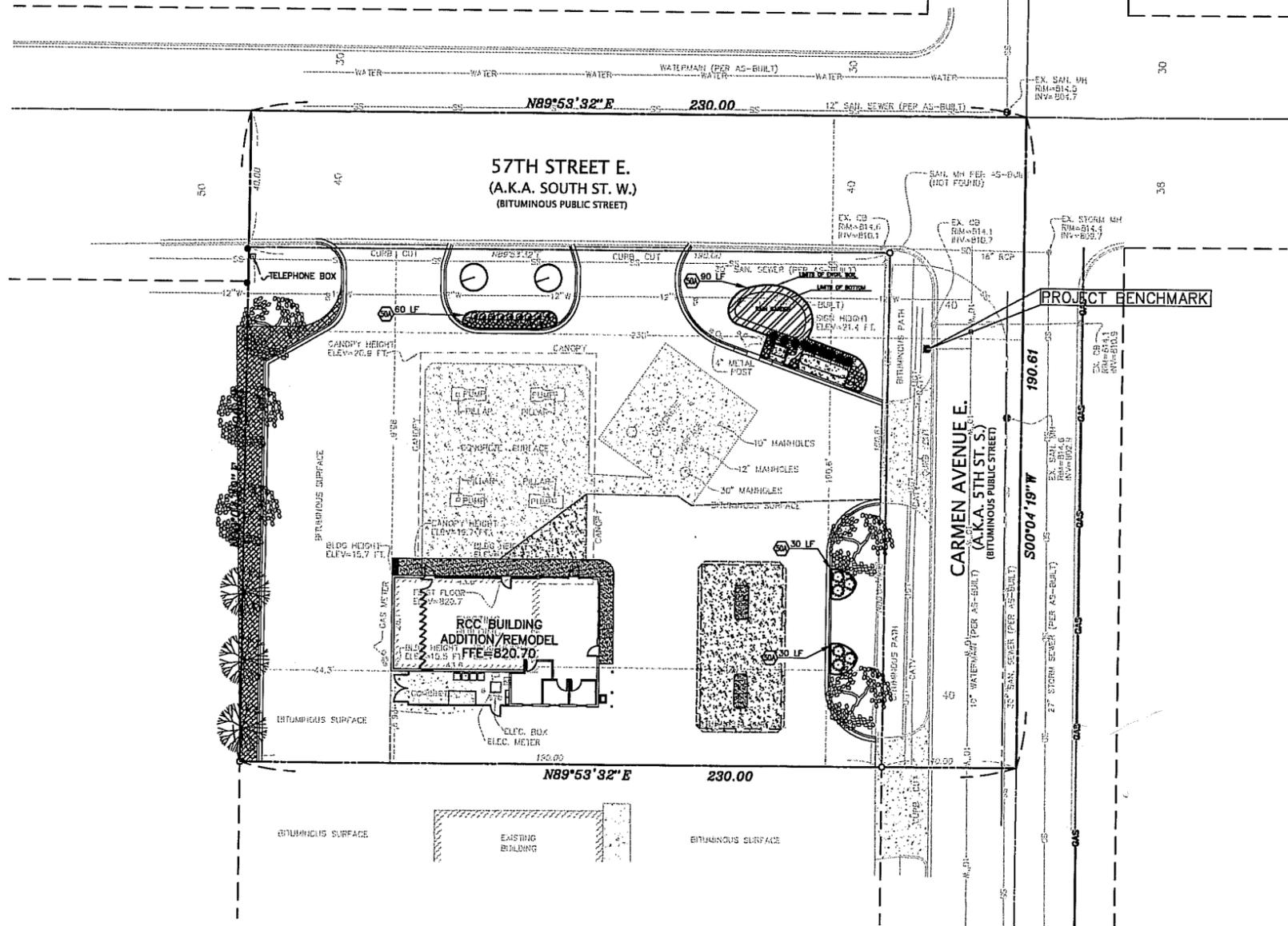
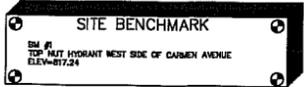
- IP TEMPORARY INLET PROTECTION PER CITY OF IGH DETAIL PLATE NO. EC-04 (SEDIMENT FILTER SACK)
- SF TEMPORARY SILT FENCE PER CITY OF IGH DETAIL PLATE NO. EC-02



**PRELIMINARY SET
 NOT FOR CONSTRUCTION**

INITIAL DESIGN	2/10/11	ALC	ALC	ALC	ALC
DATE	PRN	PM	DES	DRW	
RIVER COUNTRY COOPERATIVE					
Engineering Associates, Inc.					
ENGINEERS		PLANNERS		SURVEYORS	
LANDSCAPE ARCHITECTS		ENVIRONMENTAL		SCIENTISTS	
2277 West Highway 38, Suite 200 Roseville, MN 55113				(651)697-0800 (651)697-0804	
GRADING AND EROSION			DATE	SHEET NO.	
3240 57th STREET E			3/7/11	C4 of 6	
INVER GROVE HEIGHTS MN			9:35 AM	PRELIM	

JOB # 11111 DRAWING: 25706-Proposing LAST SAVED BY: ACATCHPOOL



CITY LANDSCAPE STANDARDS

- ONE TREE PER FIFTY (50) LINEAL FEET OF SITE PERIMETER.
- AN EQUIVALENT OF UP TO 50% OF THE REQUIRED NUMBER OF OVERSTORY TREES MAY BE CREATED THROUGH THE USE OF OVERSTORY TREES IN COMBINATION WITH OTHER LANDSCAPE DESIGN ELEMENTS AT A RATIO OF (6) SHRUBS TO ONE OVERSTORY TREE AND/OR (2) ORNAMENTAL TREES TO ONE OVERSTORY TREE. IN NO CASE SHALL THE NUMBER OF OVERSTORY TREES BE LESS THAN (50%) OF THE APPROPRIATE FORMULA.
- MINIMUM SIZES:
 DECIDUOUS TREES - 2.5" IN DIAMETER MEASURED 3' ABOVE GROUND
 CONIFEROUS TREES - 8' IN HEIGHT
 ORNAMENTAL TREES - 1.5" IN DIAMETER MEASURED 3' ABOVE GROUND
 DECIDUOUS SHRUBS - 2' IN HEIGHT
 EVERGREEN SHRUBS - 2' IN HEIGHT OR 2' WIDTH, WHICHEVER APPLIES
- PARKING LOT LANDSCAPING:
 (1) TREE PER EVERY (10) PARKING SPACES
- WARRANTY FOR LANDSCAPE MATERIALS:
 PROOF OF A 2 YEAR WARRANTY FOR THE LANDSCAPE MATERIALS FROM THE PROVIDER OF THE LANDSCAPE MATERIALS, OR AN ALTERNATE GUARANTEE FOUND ACCEPTABLE TO THE ZONING ADMINISTRATOR, SHALL BE SUBMITTED TO THE CITY. SAID WARRANTY OR ALTERNATE GUARANTEE SHALL BE SUBMITTED TO THE CITY PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE PROPERTY.

LANDSCAPING REQUIRED:
 SITE PERIMETER = 681' / 50' = (14) TREES REQUIRED
 PARKING LOT LANDSCAPING = 18 STALLS = (2) TREES REQUIRED

LANDSCAPING PROVIDED:
 OVERSTORY TREES = (8) TREES
 ORNAMENTAL TREES = (2) = (1) OVERSTORY TREES
 SHRUBS = (42) = (7) OVERSTORY TREES

EXISTING

- DENOTES FOUND MONUMENT AS MARKED
- DENOTES FOUND MONUMENT SET
- WELL
- WATER VALVES
- HYDRANT
- CATCH BASIN/STORM MH
- CULVERT/F.E.S.
- SANITARY MANHOLE
- SANITARY CLEAN OUT
- SIGN
- UTILITY POLE
- LIGHT POLE
- HAND HOLE
- TELE/ELEC BOX
- GAS METER
- GAS VALVE
- ELECTRIC LINE
- TELEPHONE LINE
- FIBER OPTIC LINE
- WATER LINE
- STORM SEWER LINE
- SANITARY SEWER LINE
- FENCE
- CURB

PROPOSED

- BOUNDARY LINE
- RIGHT OF WAY LINE
- ▨ 3" DOUBLE SHREDDED HARDWOOD MULCH AREA
- ▨ 4" TOPSOIL AND SODDED AREA
- TYPICAL PLANTING WITH QUANTITY AND KEY (SEE PLANT LIST)

GENERAL LANDSCAPE NOTES

- LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE LANDSCAPE CONSTRUCTION BEGINS.
- NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.
- ALL DISTURBED AREAS AS DESIGNATED ON THE GRADING PLAN SHALL BE SODDED.
- FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH A TIME RELEASE FERTILIZER PER MANUFACTURERS SPECIFIED APPLICATION RATES.
- CEDAR MULCH SHALL BE USED AS A FOUR INCH (4") TOP DRESSING IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND (SEE PLANTING DETAILS).

LANDSCAPE DETAILS

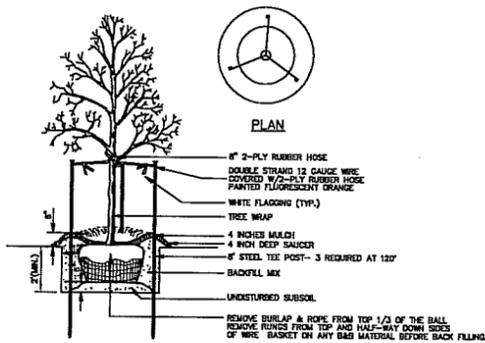
- 50A TREE PLANTING (TYP.)
- 50B SHRUB PLANTING (TYP.)

LANDSCAPE NOTES

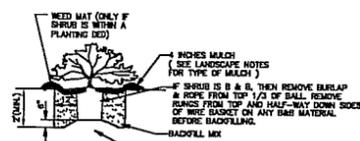
- 50A 6" POLYETHYLENE EDGING.

PLANT LIST

KEY	QTY	COMMON NAME/ BOTANICAL NAME	ROOT	SIZE	REMARKS
RM	5	RED MAPLE <i>Acer rubrum</i>	B&B	2.5" CAL.	PLANT AS SHOWN
WF	3	WHITE PINE <i>Pinus strobus</i>	B&B	2.5" CAL.	PLANT AS SHOWN
PF	2	PRAIRIE FIRE GRABAPPLE <i>Morus 'Prairie Fire'</i>	B&B	1.5" CAL.	PLANT AS SHOWN
BB	9	BURNING BUSH <i>Eurogynium alatus</i>	CONT.	2 GAL.	MIN. 2' TALL
OS	6	GOLDMOUND SPIREA <i>Spiraea x 'Goldmound'</i>	CONT.	2 GAL.	MIN. 2' TALL
RO	9	ROSE CLOW BARBERRY <i>Barbarts thunbergii</i>	CONT.	2 GAL.	MIN. 2' TALL
JA	18	JUNIPER ANDORRA <i>Juniperus 'Andorra compacta'</i>	CONT.	2 GAL.	MIN. 2' TALL



TREE PLANTING
K.T.S.



SHRUB PLANTING
K.T.S.

**PRELIMINARY SET
NOT FOR CONSTRUCTION**

INITIAL DESIGN 2/10/11 ALC ALC ALC ALC
 DATE FRN PM DES DRW

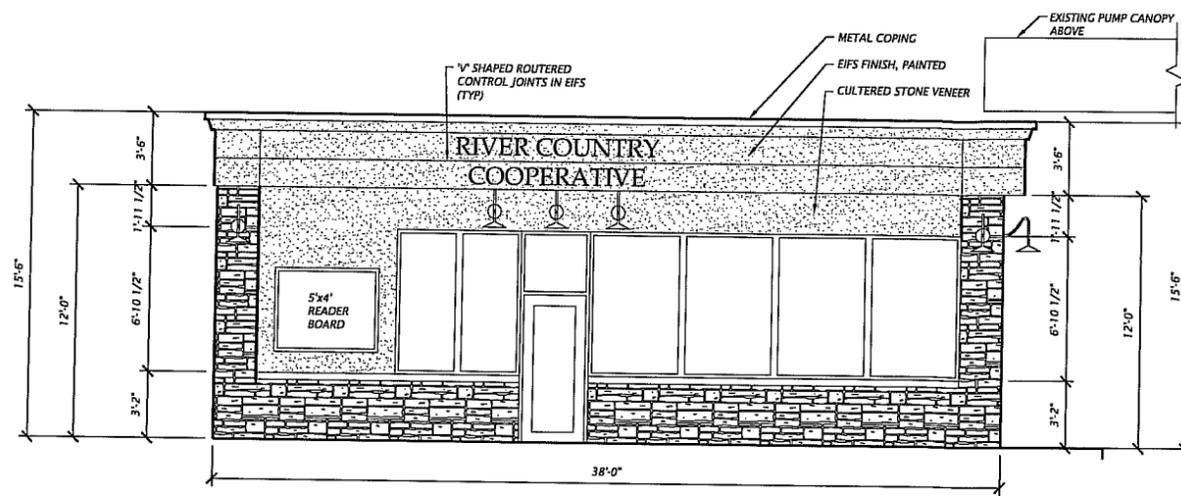
RIVER COUNTRY COOPERATIVE
Engineering Associates, Inc.
 ENGINEERS PLANNERS SURVEYORS
 LANDSCAPE ARCHITECTS ENVIRONMENTAL SCIENTISTS

2277 West Highway 36, Suite 200 (651)697-0800
 Roseville, MN 55113 (651)697-0804

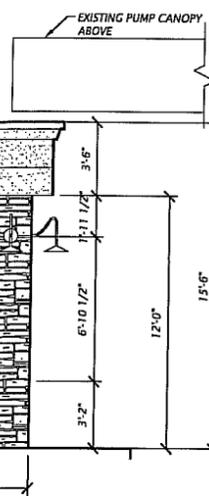
LANDSCAPE PLAN DATE 3/7/11 SHEET NO. C5 of 6
 3240 57th STREET E 9:35 AM PRELIM

RIVER GROVE HEIGHTS MN PRELIM

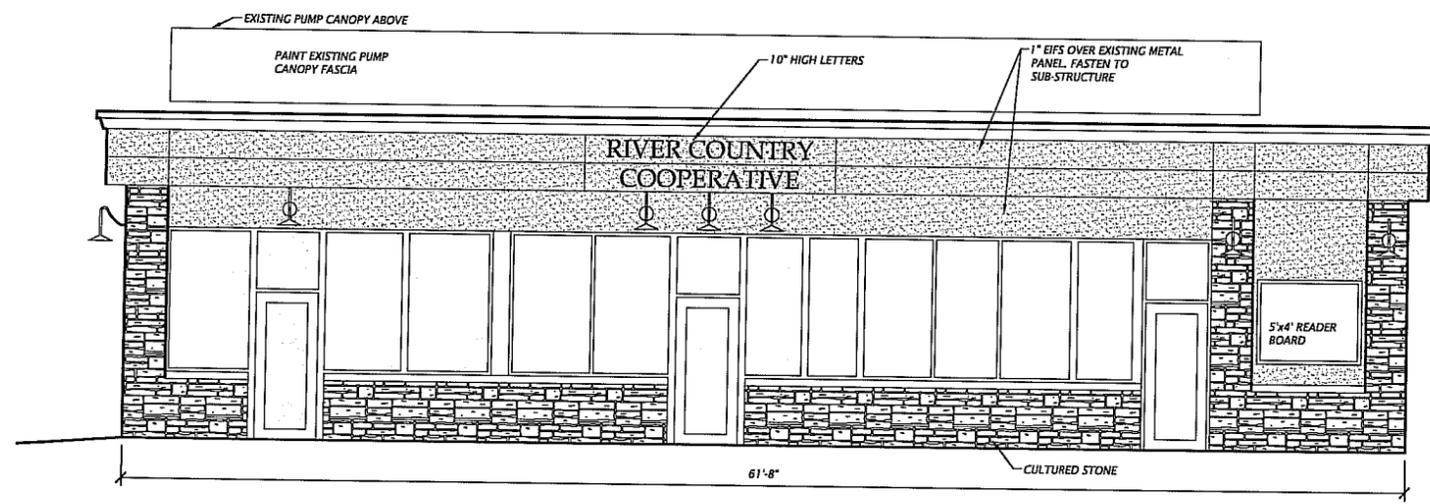
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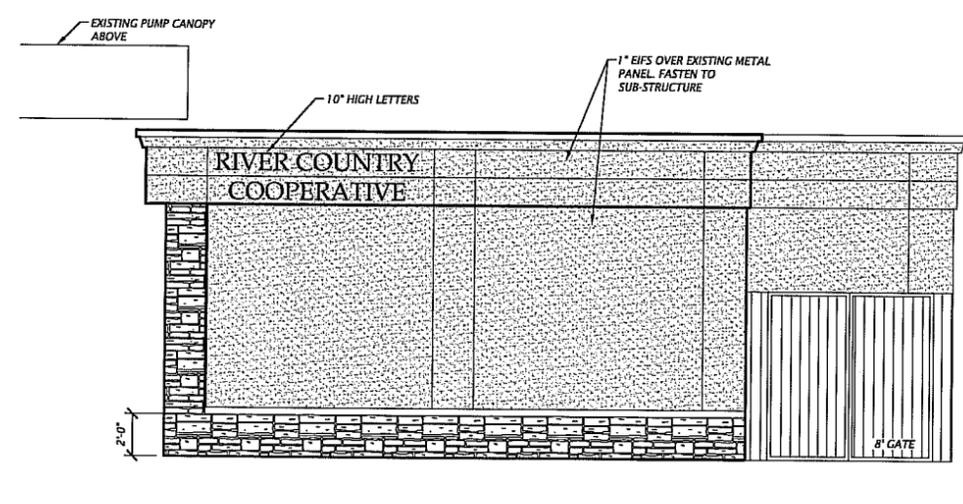
1 EAST ELEVATION
1/4" = 1'-0"



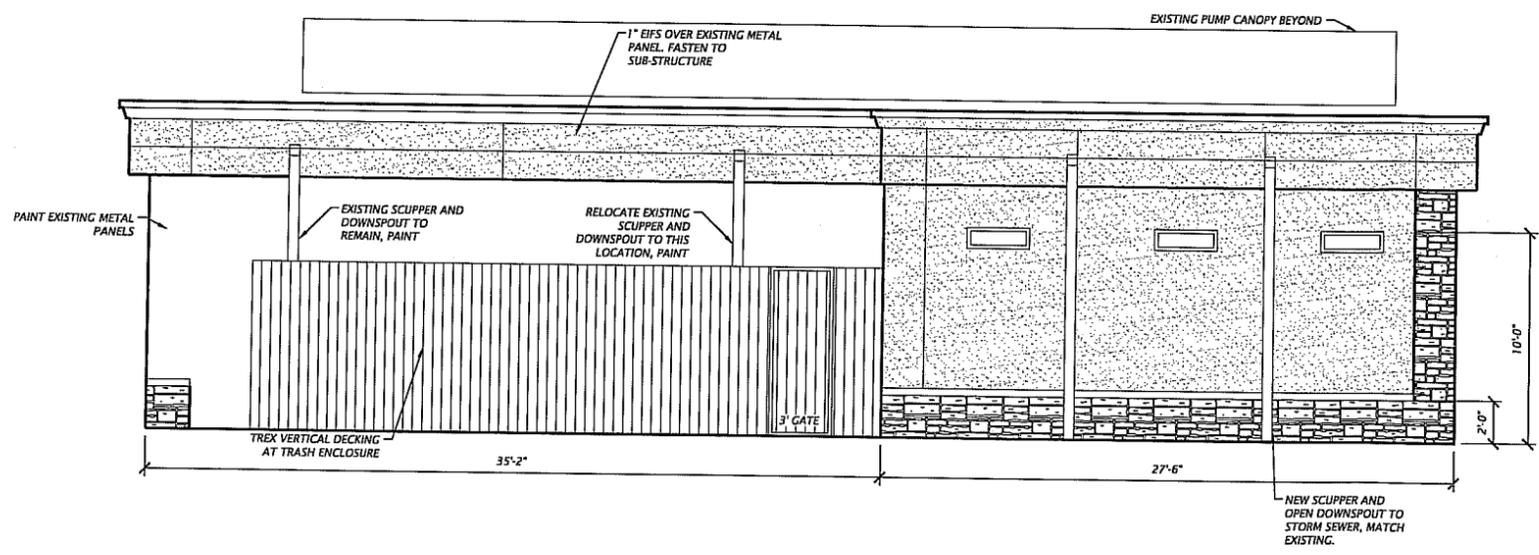
2 NORTHEAST ELEVATION
1/4" = 1'-0"



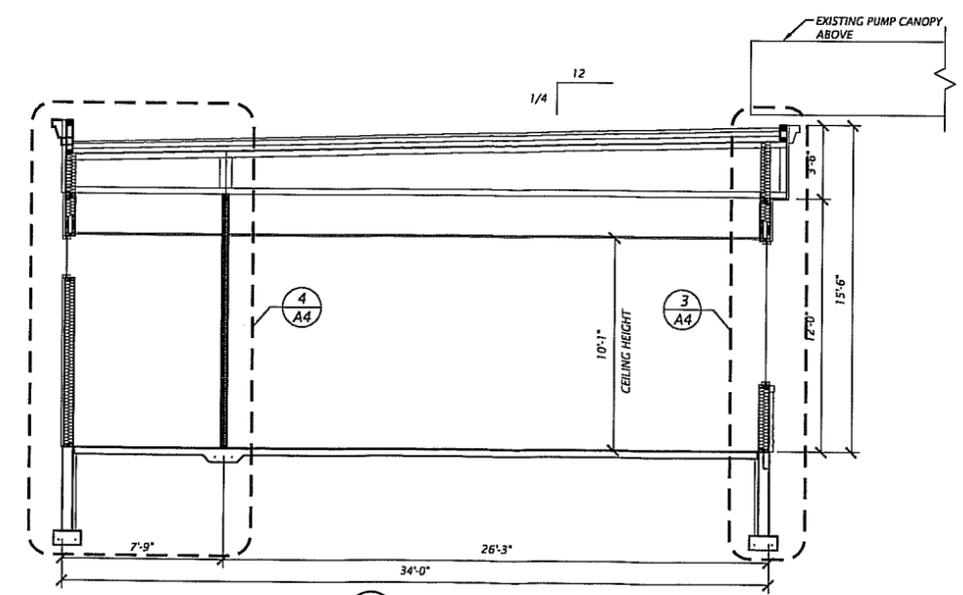
3 NORTH ELEVATION
1/4" = 1'-0"



4 WEST ELEVATION
1/4" = 1'-0"



5 SOUTH ELEVATION
1/4" = 1'-0"



6 BUILDING SECTION
1/4" = 1'-0"

ARCHITECT OF RECORD:
ROBERT D. JOHNSON ARCHITECT
3003 WOODHAVEN ROAD EAU CLAIRE, WI 54703
715.833.2226 FAX 715.833.2209

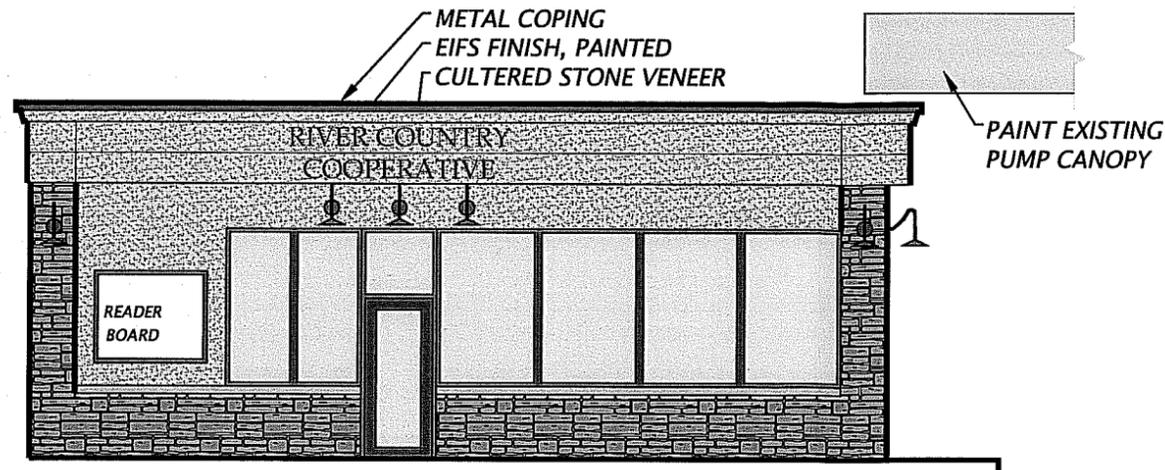
Robert Johnson, 15192
I hereby certify that this plan,
specification and contract documents
were prepared by me or under my direct supervision
and that I am a duly Licensed
Architect under the laws of the State
of Wisconsin.

PREPARED BY:
STEVE CREVISTON,
ARCHITECT
715-838-8988 or 715-577-1652
stevcreviston@hotmail.com

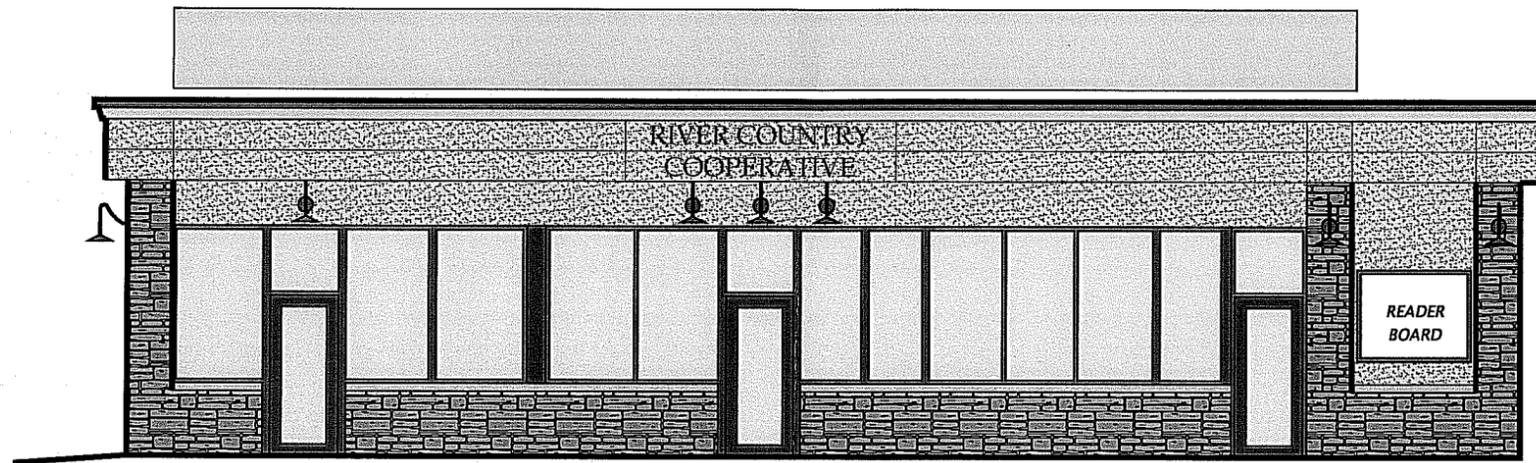
RIVER COUNTRY CO-OP
3240 57TH STREET EAST
INVER GROVE HEIGHTS, MN

ELEVATIONS AND
BUILDING SECTION

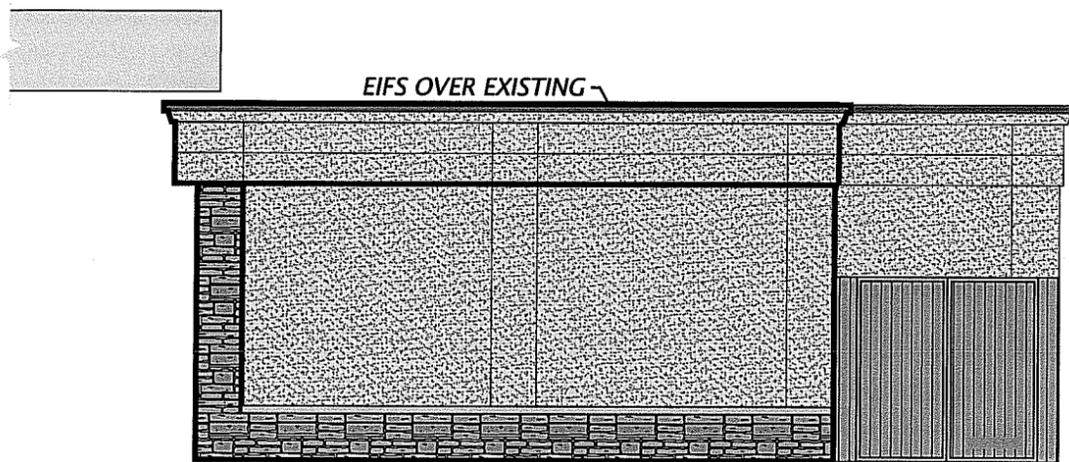
3-7-11
A3
REV SET



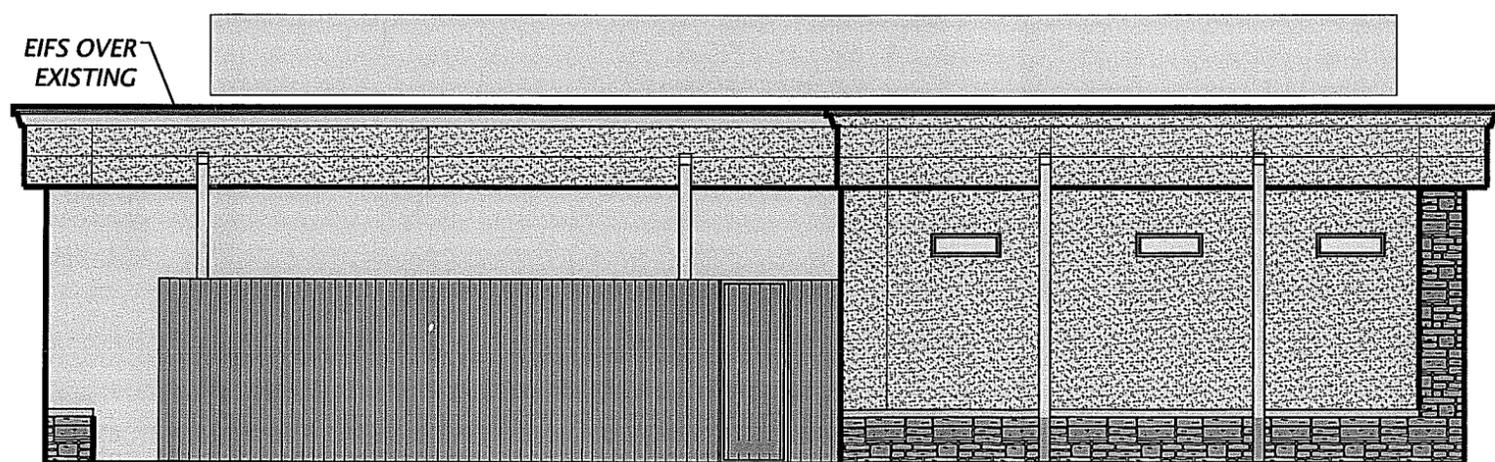
1 EAST ELEVATION
1/8" = 1'-0"



2 NORTH ELEVATION
1/8" = 1'-0"



3 WEST ELEVATION
1/8" = 1'-0"



4 SOUTH ELEVATION
1/8" = 1'-0"