

**INVER GROVE HEIGHTS
PLANNING COMMISSION AGENDA**

**TUESDAY, MAY 15, 2012 – 7:00 p.m.
City Council Chambers - 8150 Barbara Avenue**

1. CALL TO ORDER

2. APPROVAL OF PLANNING COMMISSION MINUTES FOR May 1, 2012.

3. APPLICANT REQUESTS AND PUBLIC HEARINGS

3.01 MIDWEST MOTORS LLC – CASE NO. 12-11V

Consider a **Variance** to relocate a sign that exceeds maximum height requirements. This request is for property located at 1037 Hwy 110.

Planning Commission Action _____

3.02 SHAW CONSTRUCTION INC – CASE NO. 12-12CZA

Consider the following requests for the vacant property located at 10982 Clark Road:

A.) A **Zoning Code Amendment** to allow service of semi-tanks, trucks, and trailers including equipment, parts and tires as a conditional use in the I-2 zoning district.

Planning Commission Action _____

B.) A **Conditional Use Permit** to allow the operation of the sales and service of semi-tanks, trucks, and trailers including equipment, parts, and tires

Planning Commission Action _____

C.) A **Conditional Use Permit** to allow outdoor storage of trucks and trailers.

Planning Commission Action _____

D.) A **Variance** from the outdoor storage setback and screening requirements from an Agricultural zoning district.

Planning Commission Action _____

4. OTHER BUSINESS

5. ADJOURN

PLANNING COMMISSION MINUTES - CITY OF INVER GROVE HEIGHTS

Thursday, May 1, 2012 – 7:00 p.m.
City Hall Chambers - 8150 Barbara Avenue

Chair Bartholomew called the Planning Commission meeting to order at 7:00 p.m.

Commissioners Present: Tom Bartholomew
Armando Lissarrague
Dennis Wippermann
Pat Simon
Paul Hark
Victoria Elsmore
Tony Scales
Harold Gooch

Commissioners Absent:

Others Present: Heather Botten, Associate Planner

APPROVAL OF MINUTES

The minutes from the April 17, 2012 meeting were approved as submitted.

PAUL AND JULIE ENGLESON – CASE NO. 12-09V

Reading of Notice

Commissioner Simon read the public hearing notice to consider the request for a variance to install a pool and perimeter walk 12 feet from the corner front property line whereas 30 feet is required, for the property located at 6239 Boyer Path. 6 notices were mailed.

Presentation of Request

Heather Botten, Associate Planner, explained the request as detailed in the report. She advised that the applicant is requesting an 18 foot variance to construct a pool and perimeter walk 12 feet from the front property line whereas 30 feet is required. The applicant's property is a corner lot, which by definition has two front yards. The size of the applicant's lot exceeds the minimum standards for a corner lot which are larger than interior lots to provide more lot area to address the two front yards issue. There is room on the property to construct the pool while still meeting setbacks and the setback standards do not preclude the homeowner from reasonable use of the property. Additionally, approving the pool 12 feet from the corner front property line could set a precedent for other pools on corner lots and have an effect on the neighborhood aesthetics. Staff recommends denial of the request due to the reasons listed above. Ms. Botten noted that letters were received from three neighbors in support of the variance request.

Commissioner Simon asked if there were any impervious surface issues.

Ms. Botten replied there were not.

Chair Bartholomew asked what the setback would have been had this been an interior lot.

Ms. Botten replied 10 feet side and rear.

Chair Bartholomew asked if the measurement would be taken from the pool or the decking.

Ms. Botten replied from the pool decking.

Opening of Public Hearing

The applicant, Julie Engleson, 6239 Boyer Path, submitted a letter of support from the neighbor behind them. She stated that if they configured their pool differently they would lose other space in their yard. Ms. Engleson advised that the neighbors to the north would prefer that the pool be built in the requested location as it would minimize the impact of the pool and any associated noise.

Planning Commission Discussion

Chair Bartholomew stated it would be difficult for him to support the variance request because of the reasons stated by staff.

Commissioner Lissarrague stated he did not support the request as there were alternate locations for the pool that would comply with setback requirements.

Commissioner Wippermann stated he supported staff's recommendation for denial for the reasons stated by Ms. Botten.

Commissioner Elsmore asked what the setback would be from the north property line.

Ms. Botten replied 10 feet.

Planning Commission Recommendation

Motion by Commissioner Elsmore, second by Commissioner Simon, to deny the request for a variance to install a pool and a perimeter walk 12 feet from the corner front property line whereas 30 feet is required, for the property located at 6239 Boyer Path, based on the lack of practical difficulties, the potential for setting a precedent, and the fact that denial of the request does not preclude the applicant from reasonable use of the property.

Motion carried (8/0). This item goes to the City Council on May 14, 2012.

PADDY AND SUSAN McNEELY – CASE NO. 12-10V

Reading of Notice

Commissioner Simon read the public hearing notice to consider the request for a variance to construct an addition 40 feet from the rear property line whereas 50 feet is required, for the property located at 17 High Road. 4 notices were mailed.

Presentation of Request

Heather Botten, Associate Planner, explained the request as detailed in the report. She advised that the property located on 17 High Road is zoned E-2, and is surrounded by other E-2 zonings to the north, west, and south. The property to the east is a City-owned park. The applicant's property is 1.92 acres in size, and they would like to construct an addition onto their home 40 feet from the rear yard property line whereas 50 feet is required. Ms. Botten advised that the lot is unique in that it is wider than it is deep and with greater front and rear setbacks compared to side setbacks it makes it difficult to comply with the setback requirements. Additionally the septic system is located on the north side of the home and there is a wetland and drainage swale on the north half of the lot. There is also a drainage swale south of the home limiting the buildable area of the property. The property abuts City park property to the east, so allowing a 40 foot rear yard setback does not bring the location of the home any closer to the abutting residential lots. Staff recommends approval of the request with the condition listed in the report.

Opening of Public Hearing

The applicant, Paddy Mc Neely, 17 High Road, advised he was available to answer any questions.

Chair Bartholomew asked if the applicant was agreeable with the condition listed in the report.

Mr. McNeely replied in the affirmative. He advised he has spoken with three of the four neighbors who received notices, all of whom support the request.

Planning Commission Discussion

Chair Bartholomew stated he was in support of the request.

Commissioner Hark stated he walked the property with the McNeely's and found the requested location to be the only feasible site for the addition. Because of the unique circumstances, he supported the variance request.

Planning Commission Recommendation

Motion by Commissioner Gooch, second by Commissioner Lissarrague, to approve the request for a variance to construct an addition 40 feet from the rear property line whereas 50 feet is the required setback, for the property located at 17 High Road.

Motion carried (8/0). This item goes to the City Council on May 14, 2012.

OTHER

Commissioner Wippermann asked where the joint City Council Work Session would be taking place.

Ms. Botten advised that the joint work session would take place on May 14, 2012 at 5:30 PM in the City Hall lower level training room (formerly the temporary City Council Chambers).

ADJOURNMENT

Chair Bartholomew adjourned the meeting at 7:18 p.m.

Respectfully submitted,

Kim Fox
Recording Secretary

PLANNING REPORT CITY OF INVER GROVE HEIGHTS

REPORT DATE: May 10, 2012

CASE NO: 12-11V

HEARING DATE: May 15, 2012

APPLICANT/PROPERTY OWNER: Midwest Motors LLC

REQUEST: Variance to relocate a sign that exceed maximum height requirements

LOCATION: 1037 Hwy 110

COMPREHENSIVE PLAN: Regional Commercial

ZONING: B-3, General Business

REVIEWING DIVISIONS: Planning

PREPARED BY:  Heather Botten
Associate Planner

BACKGROUND

The applicant is requesting an eight foot variance to relocate a 42 foot high sign that exceeds maximum height requirements. City code states that the maximum sign height on a property shall not exceed the principle structure by more than 10 feet. The height of the Toyota building is 24 feet. The applicant would like to move the sign about 400+ feet to the north, meeting spacing and setback requirements. The existing sign location will be replaced with a new electronic message center sign. The new sign is proposed at 40 feet in height and 100 square feet in size and does not require any special permitting as the sign is replacing one that was previously approved by City Council. The sign being moved loses its land use approval as it was approved for a specific location.

The sign to be moved is 42 feet tall and would be setback at minimum 10 feet from the property lines, meeting setback requirements. The Zoning Code allows up to 770 gross square feet of signage on the property. Including the new sign there would be about 400 square feet of signage on the property.

EVALUATION OF REQUEST:

Surrounding Uses: The subject property is surrounded by:

North	Car Dealership; zoned B-3; guided Regional Commercial
East	Kremer Springs; zoned I-1, Light Industrial; guided Regional Commercial
West	Car Dealership; zoned B-3; guided Regional Commercial
South	Right-of-way

Variance

As indicated earlier, the applicant is requesting a variance to relocate a sign that exceeds maximum height standards.

City Code Title 10, Chapter 3. **Variations**, states that the City Council may grant variances when they are in harmony with the general purposes and intent of the zoning ordinance and consistent with the comprehensive plan and establishes that there are practical difficulties in complying with the official control. In order to grant the requested variances, City Code identifies criteria which are to be considered practical difficulties. The applicant's request is reviewed below against those criteria.

1. *The variance request is in harmony with the general purpose and intent of the city code and consistent with the comprehensive plan.*

The purpose of the sign code is to regulate the placement, erection, and maintenance of signs in the City so as to promote the health, safety and general welfare of its residents. The variance request itself does not appear to be in conflict with this general purpose. The application is not contrary to the Comprehensive Plan as the future land use is Regional Commercial and car sales is an approved land use in this district.

2. *The property owner proposes to use the property in a reasonable manner not permitted by the zoning ordinance.*

The site complies with the total square footage of signage allowed on the property. The proposed relocated sign would meet size, setback, and spacing guidelines. The sign exceeds height requirements by eight feet. The sign code is in place to help prevent sign clutter on property. The size of the sign and the spacing of the sign meets code requirements and the height is not out of character for a sign located in the iron triangle. Therefore, the request to move the sign would be a use that is reasonable for this parcel.

3. *The plight of the landowner is due to circumstances unique to the property not created by the landowner.*

Historically the property was approved for three freestanding signs exceeding height requirements located along the frontage road. The property is unique in that in relocating one of the freestanding signs to the northeast part of the property, there would still be a total of three freestanding signs, one sign would just be in a different location than what was originally approved. Moving the sign to the proposed location does not interfere with any traffic visibility and it would be located at least 100 feet from neighboring buildings.

4. *The variance will not alter the essential character of the locality.*

The sign is proposed to be moved to an internal part of the property and not along the road frontage. The property meets total square footage requirements and the new sign location

exceeds the spacing requirements for a free standing sign. Approving the variance would not alter the character of this area.

5. *Economic considerations alone do not constitute an undue hardship.*

Economic considerations do not appear to be a basis for this request.

ALTERNATIVES

The Planning Commission has the following alternatives available for the requested action:

A. Approval If the Planning Commission finds the height variance to be acceptable, the Commission should recommend approval of the request with at least the following conditions:

1. The site shall be developed in substantial conformance with the site plan on file with the Planning Department.

B. Denial If the Planning Commission does not favor the proposed application the above request should be recommended for denial. With a recommendation for denial, findings or the basis for the denial should be given.

RECOMMENDATION

Staff recommends approval of the variance request with the condition listed in Alternative A with the practical difficulty and uniqueness being: the requested variance is in harmony with the general purposes and intent of the city ordinance and consistent with the comprehensive plan. The proposed sign location will not alter the essential character of the locality. Additionally, the site complies with the total square footage of signage allowed on the property and the proposed relocated sign would meet size, setback, and spacing guidelines.

Attachments: Exhibit A – Location Map
Exhibit B – Applicant Narrative
Exhibit C – Site Plan
Exhibit D – Sign proposed to be moved



Midwest Motors Case No. 12-11V

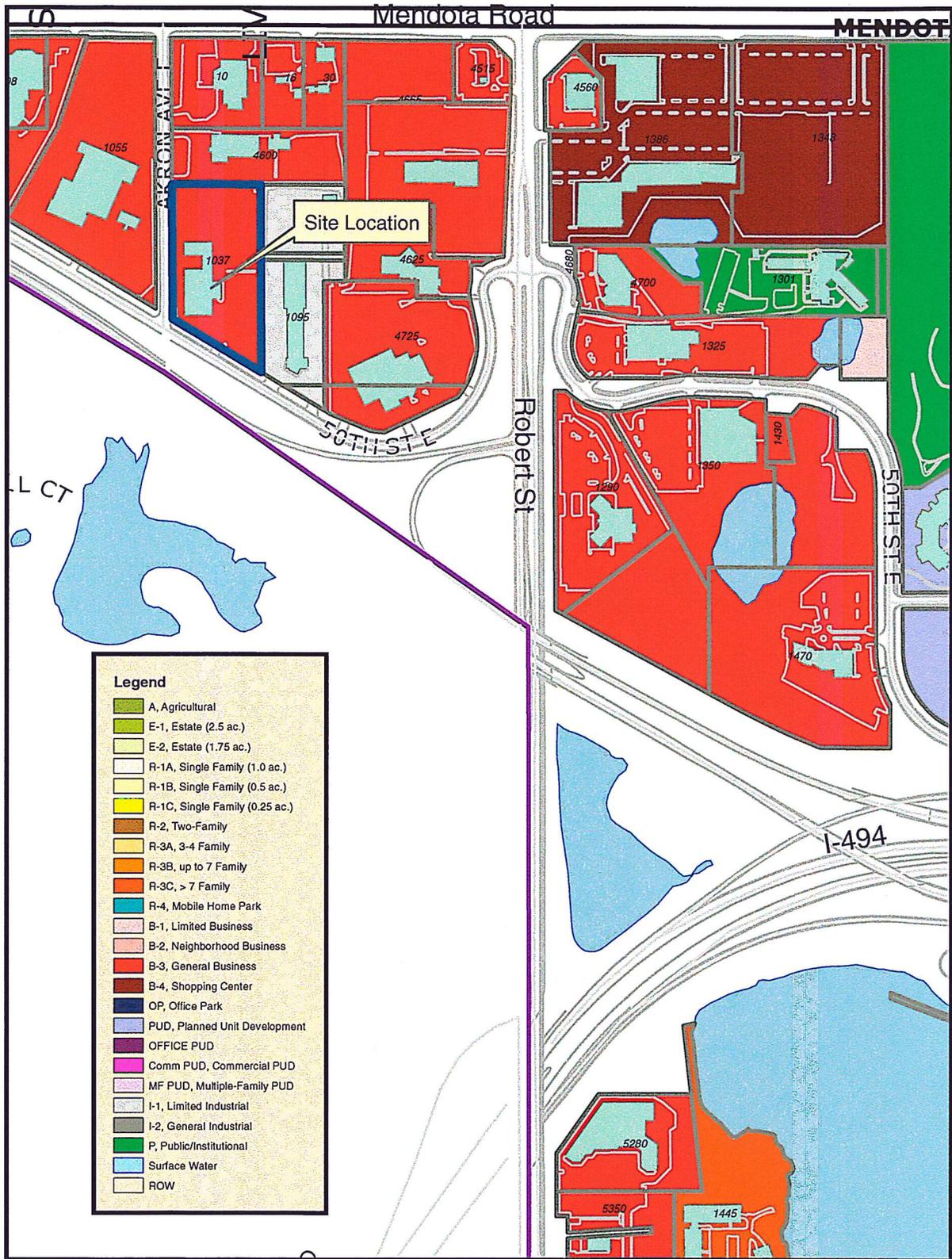


Exhibit A
Zoning Map

INVER GROVE



TOYOTA

April 15, 2012

Dear City Council Members,

I am responding to your request for a written narrative. I would like to start by stating that the sign I am requesting to have moved is currently on my Inver Grove Toyota property. The previous owner had an approved variance with the City of Inver Grove. I want to thank the Associate City Planner, Heather Botten, for her time and assistance associated with my requests regarding signage on my dealership property. We have calculated the allowances, and determined we are well within all city requirements with the proposed changes.

I am requesting to have one pylon sign moved 200 plus feet to the north along my eastern property line. Moving the sign will not alter the essential character of the neighborhood nor affect any supply of light or air to adjacent properties. The sign, once moved, will not be along frontage and will be clearly visible only in the immediate vicinity of the current property.

My primary reason for moving the sign is that I essentially inherited the sign when I purchased the business from the previous owner. The circumstances bound me to a 10 year lease (7 years remaining) on this sign and regrettably, I am not able to cancel the agreement. It does not illuminate brightly, it does not drive traffic to my location, nor does it assist customers in finding my place of business. Its only value is to notify customers that I maintain an inventory of certain types of used vehicles once on the property. However, it is expensive and I need to keep it in use until the lease termination to obtain the value.

The sign currently stands 42 feet high and has an approved variance from the city. Again, the purpose of this request is for a new variance in order to move it on my property to make room for an electronic sign at the southeast corner of the dealership property.

Thank you in advance for consideration and approval of my request.

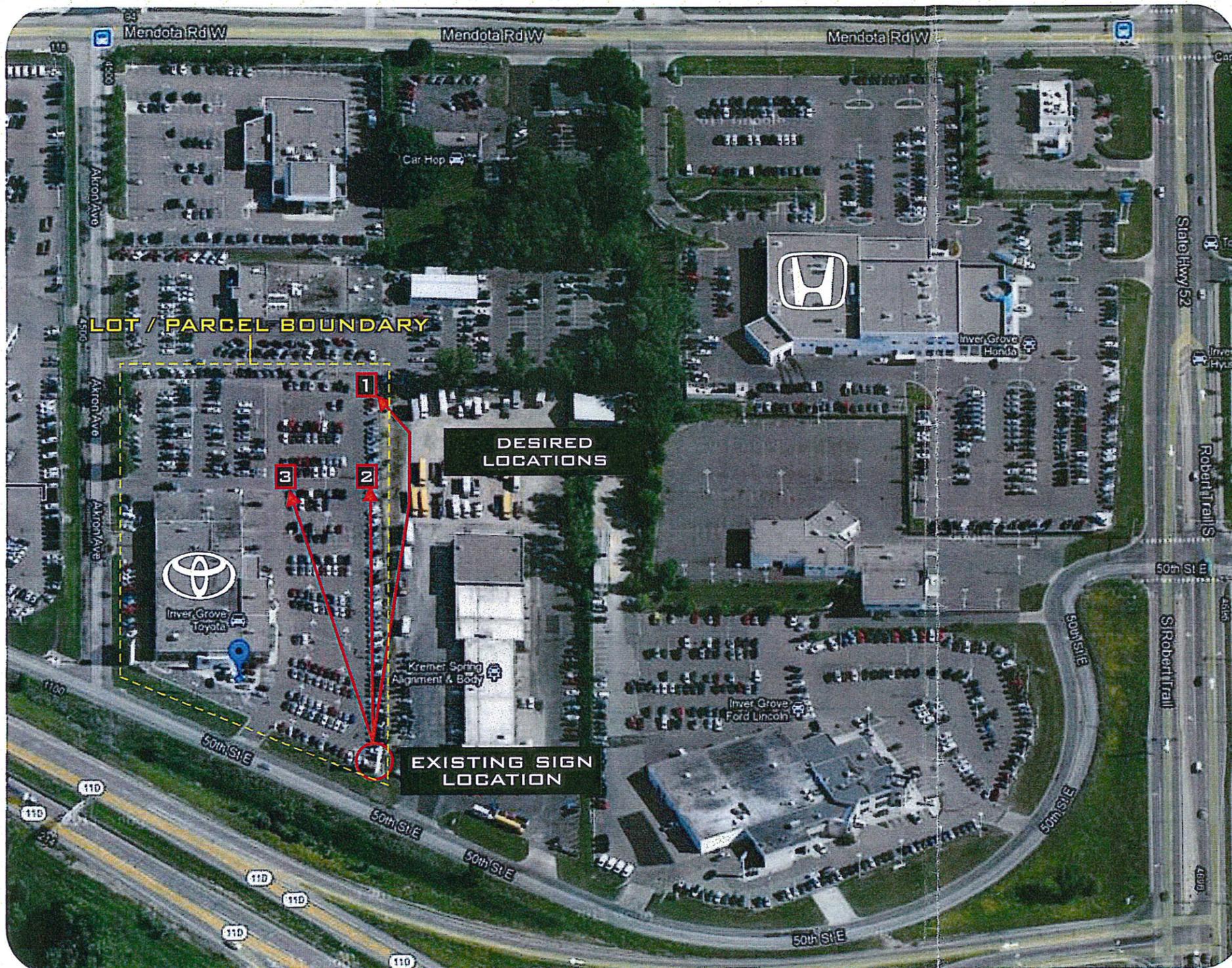
Sincerely,



Steve McDaniels
President
Inver Grove Toyota



INVER GROVE HEIGHTS, MN



Applicant prefers location #1

- ALL DESIRED SIGN LOCATIONS ARE LOCATED A MINIMUM OF 10' AWAY FROM SETBACKS
- ALL DESIRED SIGN LOCATIONS ARE LOCATED A MINIMUM OF 200' AWAY FROM OTHER FREESTANDING STRUCTURES
- ABUTTING NEIGHBORS

KREMERS SPRING ALIGNMENT
1095 HIGHWAY 110
INVER GROVE HEIGHTS, MN
55077

CONTACT: MIKE EHRET
651-455-1604

MAUER CHEVORLET
1055 HIGHWAY 110
INVER GROVE HEIGHTS, MN
55077

CONTACT: JOHN VECERE
651-455-6283



945 PIERCE BUTLER ROUTE, ST. PAUL, MN 55104
WWW.LAWRENCESIGN.COM

HONDA
CLIENT-

INVER GROVE HEIGHTS, MN
LOCATION-

JON JASPER
ACCOUNT EXECUTIVE-

HONDA - INVER GROVE HEIGHTS, MN
DRAWING-

2-9-12
DATE-

2-22-12
4-02-12 HP

REVISION-

~~X~~
CUSTOMER APPROVAL

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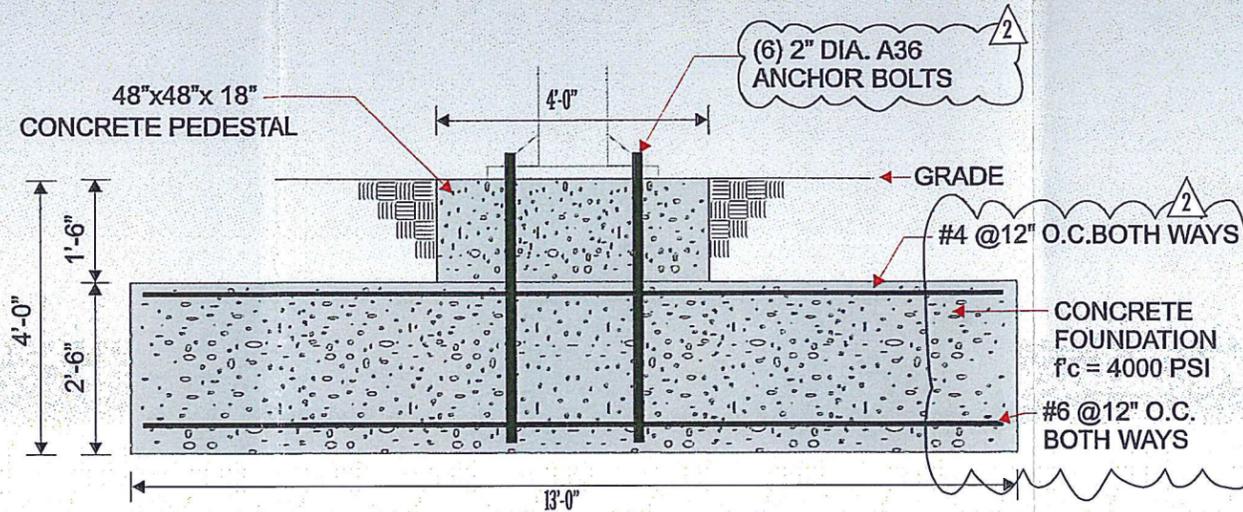
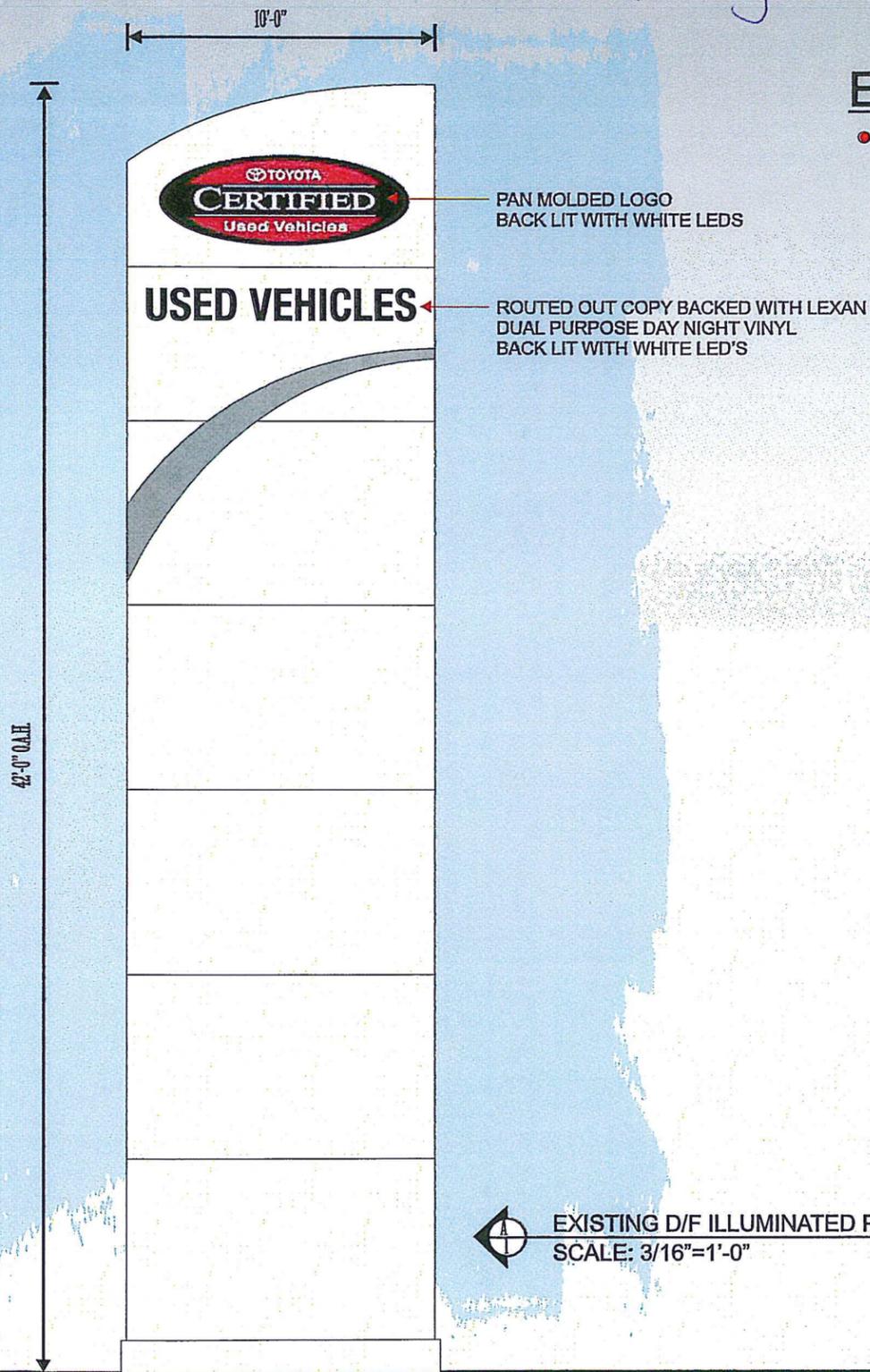
INVER GROVE HEIGHTS, MN

SQUARE FOOTAGE: 420

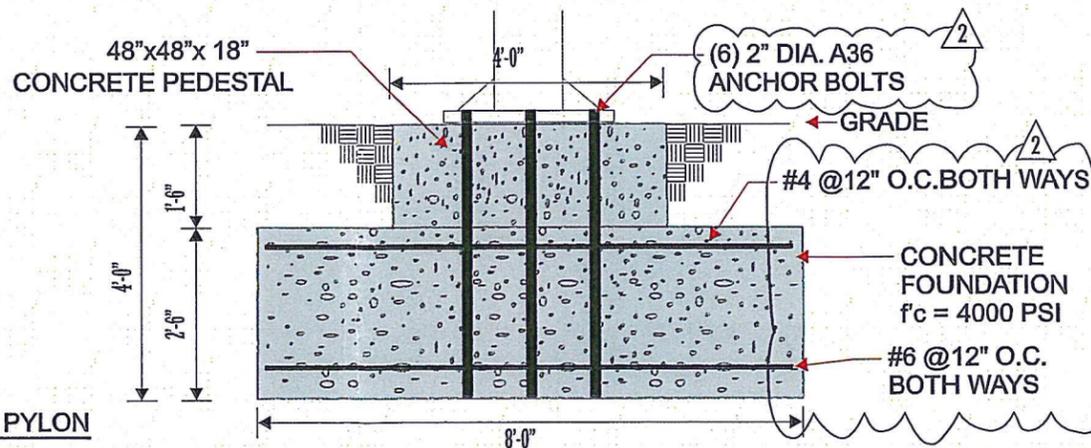
** Sign to be moved **

EXISTING DOUBLE FACE ILLUMINATED PYLON

- EXISTING D/F ILLUMINATED PYLON WILL BE RELOCATED WITH NEW FOUNDATION FOOTING



NEW FOUNDATION DETAIL - SIDE VIEW
SCALE: 3/8"=1'-0"



NEW FOUNDATION DETAIL - FRONT VIEW
SCALE: 3/8"=1'-0"

EXISTING D/F ILLUMINATED PYLON
SCALE: 3/16"=1'-0"

Lawrence Sign

945 PIERCE BUTLER ROUTE, ST. PAUL, MN 55104
WWW.LAWRENCESIGN.COM

HONDA
CLIENT-

INVER GROVE HEIGHTS, MN
LOCATION-

JON JASPER
ACCOUNT EXECUTIVE-

HONDA - INVER GROVE HEIGHTS, MN
DRAWING-

2-9-12
DATE-

2-22-12
4-02-12 HP

REVISION-

~~CUSTOMER APPROVAL~~

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UL LISTED **ELECTRIC SIGN**

PRINTED COLORS & GRADIENTS AS SHOWN MAY VARY FROM ACTUAL FINISHED COLOR.

- b) A Conditional Use Permit to allow service of semi-tanks, trucks, and trailers including equipment, parts and tires as a conditional use.
- c) A Conditional Use Permit to allow outdoor storage of trucks and trailers.
- d) A Variance from outdoor storage requirements in the I-2 District to; allow outdoor storage to encroach into the required 100 foot buffer along property zoned A, Agricultural and not be required to install solid screen fencing.

EVALUATION OF THE REQUEST

The following land uses, zoning districts and comprehensive plan designations surround the subject property:

North Vacant; zoned I-2; guided GI

East Residential; zoned A; guided GI

West Vacant; zoned I-2; guided GI

South Trucking operation; zoned I-2; guided GI

ZONING CODE AMENDMENT REVIEW

The applicant is requesting the zoning code be amended to allow the use of truck and trailer repair in the I-2, General Industry zoning district.

The Zoning Code already has a category labeled "Sales and service of semi-tanks, trucks and trailers, including equipment, parts and tires" as an accessory use to Manufacturing in the I-2 District. Truck and freight terminals are an allowed use in the I-1 and I-2 Districts. Truck stops are an allowed use in the I-1 District. There are numerous truck industry related businesses along Hwy 52/55 in the southern portion of the city. This has been and continues to be a "trucking corridor". Since the pattern of truck related uses has been established in this part of the city, it seems reasonable to expand the list of uses to include truck repair. Current I-2 zoned properties in the city are found in two areas, one along Hwy 52/55, Clark Road and the landfills, and the other is the NSP tank farm on Hwy 3. Staff finds this code amendment to be consistent with the pattern of development in the area proposed and consistent with the expansion of allowed truck related industries.

CONDITIONAL USE PERMIT AND SITE PLAN REVIEW

Setbacks. The proposed parking lot and building, including future phases meet or exceed the required perimeter setbacks for the site.

Parking Lot. Parking for the proposed use consists of 29 parking stalls located along the south side of the building. The number of stall complies with parking requirements for the first phase. Required parking spaces for all the proposed future phases would be located along the north parking lot area. The parking areas and main traffic routes would be bituminous with concrete curbing. The balance of the lot is a storage/truck circulation area that is to be recycled asphalt. The Ordinance allows these areas to be constructed of a crushed material. The project meets parking and surfacing requirements.

Lot Coverage. The I-2 zoning districts allow a maximum of 30% of the lot to be covered by buildings. With this lot size, maximum building coverage would be 51,000 square feet. The proposed building total would be 37,000 square feet which complies with code standards.

Screening/Landscaping. Based on the size of the lot and required number of parking spaces, a total of 36 overstory trees are required. The plantings must be a mix of coniferous and deciduous trees. The landscape plan identifies 34 overstory trees, and 49 shrubs. The shrub equivalent planting equals 8 overstory trees. The grand total plantings exceed the landscape requirement.

The Ordinance does have a requirement that "outdoor storage area shall be setback a minimum of 100 feet from the lot boundary of any "A", "E" or "R" use. The houses to the east are zoned A, Agricultural. The applicant is requesting a variance from this requirement in order to allow them to utilize the rear portion of the site for outdoor storage of trucks and trailers. The coded also requires outdoor storage to be screened residential uses using at minimum 6 foot high solid wood fence. The applicant is requesting a variance from this requirement also. The variance request is discussed later in this report.

Reforestation. Based on the grading shown on the site plan, much of the site would be graded and the existing trees would be removed. According to the tree inventory that was done for the Gainey Plat, the tree mass on this lot contains 6 oak trees and 40 box elder trees. Box elder trees are not a species protected under the Tree Preservation ordinance. The six oak trees on the lot do not meet the threshold to qualify as a woodland and therefore tree preservation regulations are not applicable to this site.

Access. Access to the site would be via two entrance points onto Clark Road. The property to the west is vacant so there are no conflicts with the entrance points. The access points are acceptable as proposed.

Building Materials. The applicant has provided drawings of the building. The proposed building consists of concrete panels with painted accent stripes on all four sides of the building. All materials proposed comply with ordinance standards.

The Code requires any roof top or ground mounted equipment to be screened from view from the public. This means that any roof top units must be screened from view from Clark Road. This can be accomplished through either screen material around the units or through the use of parapets. The proposed elevations do make it clear

Engineering. Engineering has reviewed the plans against the overall storm drainage plan that was prepared for the Gainey Addition Plat. The City Engineer has made comments on the plans and is working with the applicant to address the technical aspects of the plans. A condition is included requiring approval of the plans by the City Engineer prior to work commencing on site.

Lighting. The applicant has provided lighting fixture detail and a photometric plan for the lighting of the property. The fixtures are to be a shoe-box with flat lens and the candle power falls within the standards of the ordinance. All lighting proposed complies with city code.

Improvement Agreement. An improvement agreement will be required to be executed between the City and the developer. The agreement will address the necessary site improvements including a storm water maintenance agreement, the parties responsible for the improvements, and will require financial surety for the landscaping, erosion control and any other improvements that may be necessary. A developer is required to enter into a contract with the City addressing the improvements and construction on site. A letter of credit equal to 125% of the cost of these improvements is required before construction can begin. This requirement assures the City that these particular improvements will be constructed to the satisfaction of the City.

General CUP Criteria

(This section also reviews the plans against the CUP criteria in the Zoning Ordinance assuming the proposed ordinance amendment is adopted and that the City finds this to be an acceptable use.)

1. The use is consistent with the goals, policies and plans of the City Comprehensive Plan, including future land uses, utilities, streets and parks.

One of the policies of the industrial districts is to " Provide opportunities for new industrial development, expansion of existing uses and the redevelopment of existing industrial uses to expand employment opportunities and to serve existing businesses in the community. The proposed use would not have a negative impact for the industrial areas as set forth in the Comprehensive Plan.

2. The use is consistent with the City Code, especially the Zoning Ordinance and the intent of the specific Zoning District in which the use is located.

Suitability of the use is discussed above with the Comprehensive Plan. The proposed project does comply with all of the performance criteria of the I-2 Zoning District.

3. The use would not be materially injurious to existing or planned properties or improvements in the vicinity.

The proposed use does not appear to have a detrimental effect on the neighborhood or public improvements in the vicinity of the project.

4. The use does not have an undue adverse impact on existing or planned City facilities and services, including streets, utilities, parks, police and fire, and the reasonable ability of the City to provide such services in an orderly, timely manner.

This location of the City is now served by municipal sewer and water. The proposed use would not have an adverse impact on fire protection or on any city service.

The use is generally compatible with existing and future uses of surrounding properties, including:

- i. Aesthetics/ exterior appearance

The design of the proposed development would be compatible with the surrounding uses and with the intent of the industrial zoning.

- ii. Noise

Any vehicle noise would not be out of the ordinary for the I-2 zoning district.

The operation is a day time operation and larger trucks would utilize the site.

- iii. Fencing, landscaping and buffering

The applicant is requesting variances from fencing and buffering requirements.

The land use plan for all the surrounding properties are to be developed with industrial uses along both Clark Road and Hwy 52/55.

5. The property is appropriate for the use considering: size and shape; topography, vegetation, and other natural and physical features; access, traffic volumes and flows; utilities; parking; setbacks; lot coverage and other zoning requirements; emergency access, fire lanes, hydrants, and other fire and building code requirements.

The size and location would be appropriate for industrial uses. The site is designed to minimize as much as possible any impacts to the residences to the east. The entire area is guided for industrial development.

6. The use does not have an undue adverse impact on the public health, safety or welfare.

This use is similar to other industrial uses in the area and does not have any unique features that would create an adverse impact.

7. The use does not have an undue adverse impact on the environment, including, but not limited to, surface water, groundwater and air quality.

The project is required to meet all city storm water requirements. The area is served by city sewer and water and there would be no emissions that would create air quality issues.

Miscellaneous. Along with this request, the landowner has made application for an Administrative Subdivision to divide the existing platted lot into two lots. This approval is done at staff level. Both proposed lots meet minimum lot size and lot width requirements. With the creation of a new lot, park dedication will be required since no fees were collected at the time of the original Gainey Addition plat in 1999. At that time, the rules were that park fees were collected at time of building permit. The current rules are that park fees are paid at time of lot creation. A condition of the CUP is added to require payment of the park fee.

VARIANCE REVIEW

Title 10-15-10: EXTERIOR STORAGE, B. of the ordinance requires outdoor storage to be setback a minimum of 100 feet from the lot boundary of any "A", "E" or "R" District and also requires storage to be screened by a fence enclosure consisting of a minimum six foot high solid wood fence. In this case, the property abutting to the east is zoned A, Agricultural and thus the 100 foot buffer and fencing would apply. The applicant is proposing to utilize the rear portion of the property, including property up to 40 feet, for outdoor storage of trucks and trailers in for repair.

City Code Title 11, Chapter 3. **Variations**, states that the City Council may grant variances when they are in harmony with the general purposes and intent of the zoning ordinance and consistent with the comprehensive plan and establishes that there are practical difficulties in complying with the official control. In order to grant the requested variances, City Code identifies criteria which are to be considered practical difficulties. The applicant's request is reviewed below against those criteria.

1. *The variance request is in harmony with the general purpose and intent of the city code and consistent with the comprehensive plan.*

The general intent of this standard is to limit the precedent that could be set if the variance was granted. The property does has some unique characteristics in that the request for outdoor storage is addressed differently than other types of industrial uses abutting agricultural zoned property. Outdoor storage is required to maintain a 100 foot buffer from certain zoned properties, while other industrial uses, such as trucking operations or mini-storage do not have this requirement. They would be allowed to store trucks or storage items up to 10 feet from a property line.

2. *The property owner proposes to use the property in a reasonable manner not permitted by the zoning ordinance.*

All of the land surrounding the subject site is guided for GI, General Industrial. There are three houses to the east of the property that are still zoned A, Agricultural. The "A" zoning in this case is designed as more of a holding zone in that since the long range

plan is industrial, the existing residences may be utilized until such time the property is rezoned and developed for industrial uses. The intent of the area is to develop industrial. It is not planned for long term residential. The properties to the south and north of the subject site have developed with industrial uses; a trucking operation and mini-storage. Both have storage components including trucks in a large open parking lot for the trucking operation to the south, to storage of boats, trailers, campers associated with the mini-storage. The truck parking lot abuts the residential property along the residential property's south property line. Allowing storage within the 100 foot buffer would not be contrary to the intent of the Comprehensive Plan.

The intent of the ordinance requirement is to protect permanent agricultural or residential uses from being adversely affected by neighboring industrial development. The applicant proposes screening to minimize or eliminate any adverse effects the outdoor storage could have on the properties to the east.

3. *The plight of the landowner is due to circumstances unique to the property not created by the landowner.*

The narrow wording of the Ordinance to only require a 100 foot buffer on outdoor storage and not other industrial uses that would have an outdoor component creates a practical difficulty for this particular use on this site. Since the long range plan for the properties to the east is industrial, it would seem requiring a 100 foot buffer in this case to be a difficulty by not allowing the use of the property to its fullest extent. As stated above, the storage proposed in this instance is similar to truck terminal storage with trucks and trailers that do not require a buffer or greater setback.

4. *The variance will not alter the essential character of the locality.*

Allowing storage within the required buffer area will not alter the character of the area. There is already a trucking operation on the property immediately to the south that contains a large parking lot for parking of trucks and trailers which also directly abuts the agricultural zoned property. The area is planned long term for industrial so eventually the buffer area will no longer be a requirement and the back of the lot can be used the same as with other industrial zoned properties.

5. *Economic considerations alone do not constitute an undue hardship.*

Economic considerations do not appear to be the sole basis for this request. The need for storage space for trucks and trailers is typical for this type of operation.

ALTERNATIVES

The Planning Commission has the following actions available on the following requests:

- A. **Approval.** If the Planning Commission finds the application to be acceptable, the following action should be taken:
- o Approval of the Zoning Code Amendment to allow service of semi-tanks, trucks, and trailers including equipment, parts and tires as a conditional use.
 - o Approval of the **Conditional Use Permit** for the service of semi-tanks, trucks, and trailers including equipment, parts and tires and outdoor storage subject to the following conditions:
 1. The site shall be developed in substantial conformance with the following plans on file with the Planning Department except as may be modified by the conditions below.

Site Plan (showing all phases)	dated 4/27/12
Exterior Elevations	dated 4/27/12
Site Plan (first phase)	dated 4/27/12
Grading Plan (first phase)	dated 4/27/12
Grading Plan (future phases)	dated 4/27/12
Landscape Plan	dated 4/27/12
 2. Prior to commencement of any grading, the final grading, drainage and erosion control, and utility plans shall be approved by the Director of Public Works.
 3. All roof top or ground mounted mechanical equipment shall be substantially screened from view.
 4. All areas of the lot shall be mowed and maintained and be free from trash and debris.
 5. The City Code Enforcement Officer, or other designee, shall be granted right of access to the property at all reasonable times to ensure compliance with the conditions of this permit.
 6. Prior to commencement of any grading on the site, An improvement agreement and storm water facilities maintenance agreement shall be entered into between the developer and City to address proper responsibilities and maintenance of the different storm water systems, to obtain a letter of credit for performance, and to obtain an engineering escrow for engineering staff and emergency erosion control expenses.
 7. Park dedication fees of \$40,150 shall be paid prior to the commencement of work being started on the site under this conditional use permit.

- Approval of a **Variance** to allow outdoor storage within 100 feet from the boundary and no fencing of an A, Agricultural zoned property.

Practical Difficulty: The narrow wording of the Ordinance to only require a 100 foot buffer on outdoor storage and not other industrial uses that would have an outdoor component creates a hardship for this particular use on this site. Since the long range plan for the properties to the east is industrial, it would seem requiring a 100 foot buffer in this case to be a difficulty by not allowing the use of the property to its fullest extent.

- B. **Denial.** If the Planning Commission does not favor the proposed application the above request should be recommended for denial. With a recommendation for denial, findings or the basis for the denial should be given.

RECOMMENDATION

The proposed code amendment language is consistent with other truck related uses allowed in I-2 and I-1 districts. The use is already allowed as accessory to a manufacturing operation. Staff supports the code amendment.

The proposed request complies with all performance standards of the I-2, except the 100 foot buffer and fencing variance request. The use is consistent with the Comprehensive Plan and meets the Conditional Use Criteria. Engineering finds the plans acceptable and is working with the applicant on the final details. Staff also supports the variance request as the ultimate end land use for all properties in the area will be industrial. Planning Staff recommends approval of the requests as presented with the conditions listed in this report.

Attachments: Location Map
Applicant General Narrative
Applicant Variance Request Narrative
Site Plan (showing all phases)
Exterior Elevations
Site Plan (first phase)
Grading Plan (first phase)
Grading Plan (future phases)
Landscape Plan



Location Map

Case No. 12-12CZA





April 16, 2012

City of Inver Grove Heights
Attn: Mr. Allan Hunting
8150 Barbara Avenue
Inver Grove Heights, MN 55077
651-450-2554

Re: Site Plan Application
CATCO Parts and Service

Dear Mr. Hunting:

Attached hereto please find our complete Planning Application Form and required submittal materials. We are applying and requesting:

1. Conditional Use Permit
2. Zoning Code Amendment
3. Administrative Lot Split

Our application material includes 10 sets of Plan Sheets dated April 16, 2012, one (1) 11"x17" of the same;

- A1 Site Plan and Code Analysis
- A2 Floor Plan
- A3 Exterior Elevations
- C1 Site Plan
- C2 Grading and Erosion Control Plan
- C3 Utility Plan
- C4 Details and Specifications
- C5 Future/Full Build-Out Grading Plan
- L1 Landscape Plan
- Administrative Lot Division Survey for: CATCO Parts & Service
- Lighting Photometric Plan
- Light Fixture Cut Sheets
- Storm water Management Calculations for CATCO dated April 16, 2012
- Abstractors Certificate with at list of names and addresses of property owners within 350 ft of the subject property.
- Property Access Consent Form

CATCO is a full service parts and repair service company for commercial vehicles with over 60 years of business and 17 locations throughout Minnesota, Wisconsin, North & South Dakota, and Illinois. We have attached additional brochures to outline their services and business model for the proposed facility.

The proposed facility is expecting to employ 12-15 associates and provide: Truck and Trailer Parts, Truck and Trailer Service, and Fluid Power Parts and Service. Hours of Operation are provided as:

Parts: Monday – Friday	7 am to 6 pm
Saturday	8 am to Noon
Service: Monday – Friday	8 am to 5 pm

*General Contractors &
Construction Services*

We are requesting a zoning code amendment, because current ordinances for the property do not allow or identify the use CATCO is proposing.

7685 Corporate Way
Eden Prairie, MN 55344-2021
952-937-8214
952-934-9433 Fax
www.shawconstruct.com

Mr. Allan Hunting
City of Inver Grove Heights
CATCO Parts & Service Site Plan Application
April 16, 2012
Pg 2 of 2

Based on our personal meeting and positive feedback on the project back in November 2011, we are moving forward with the development and project and look forward to working with you and the City of Inver Grove Heights on this exciting new project.

We are planning and are diligently on pace to continue the following schedule:

Apr. 16, 2012	Application Deadline
Apr. 25, 2012	Plan Review Committee
May 15, 2012	Planning Commission
May 17, 2012	Building Permit Application
June 11, 2012	City Council
Mid June 2012	Commencement and Ground Breaking
December 2012	Project Completion

We are sure you will find the submittal thorough and complete. Please feel free to contact me with any questions or need for additional information.

Respectfully,



John N. (Jack) Shaw
President

drh

cc: Dave Gerdes, CATCO Parts and Services

May 07, 2012

City of Inver Grove Heights
Attn: Mr. Allan Hunting
8150 Barbara Avenue
Inver Grove Heights, MN 55077
651-450-2554



Re: CATCO Parts and Service

Dear Mr. Hunting:

As follow-up to our "Plan Review Committee Meeting" of April 25, 2012, and various comments we received from you in regard to the Site Plan submittal for Zoning Code Amendment and Conditional Use Permit for outside storage, we present the following information and response.

Surfacing, we have revised our Site Plan to include bituminous surface on the north side of the building and have added a 40'-0" wide bituminous drive surface connecting the north and south maneuvering areas.

It was brought to our attention at the same meeting, that the property directly east of our site, is currently zoned Agriculture, requiring a 100'-0" setback for storage yards. The current site plan illustrates a 125'-0" setback from the property line to our storage area which will comply with the current setback requirement. CATCO is currently experiencing sustained healthy business growth and is acquiring this site as a result of that success. It is also their expectation to expand this facility by 12, 000 sq. ft. or 96'x125' to the east in the next 3 to 5 years, resulting in an expanded rear yard area to the east (see Sheet C5 Future/Full Build Out Grading Plan), resulting in a 45'-0" setback from the proposed future yard area to the property line.

It was also brought to our attention that fencing would be required between our intended use and the property zoned agriculture. Our suggestion and proposed solution to the setback and fence are a proposed variance to allow CATCO a 45'-0" setback to the yard area and omit the requirement of a fence on the east property boundary.

Further information and support to this request: Current Inver Grove Heights Comprehensive Plan states the agriculture property to the east of the proposed CATCO site is guided to be Industrial property. It should also be noted that the topography of the area is high in elevation and as the agricultural property is converted to Industrial soils will be required to be removed, to develop this property. The elevation change along CATCO's future yard to the property line area varies as follows:

Northeast Corner of future yard area to property line – 18.7 ft. incline

Southeast Corner of future yard area to property line – 9.3 ft. incline

Because the adjoining property is guided for Industrial zoning, it is not practical to subject CATCO to a 100'-0" setback to their storage yard along with fencing the east property. A fence will be required to be removed as soon as any development occurs on this property.

Thank you for the opportunity to present this information. I understand that you support our request favorably. We are in a position to break ground early in June, with a favorable outcome in this May 15th Planning Commission Meeting and June 11th City Council Meeting.

Please contact me with any questions or concerns.

Sincerely,

A handwritten signature in black ink, appearing to read "John N. (Jack) Shaw", with a long horizontal flourish extending to the right.

John N. (Jack) Shaw
President

dth

Attachments: Plan Sheets A1, A2, A3, C1-C5 and L1 Revised 4-27-12

cc: Dave Gerdes, CATCO Parts and Services
Steve Watrud, Steenberg Watrud Construction

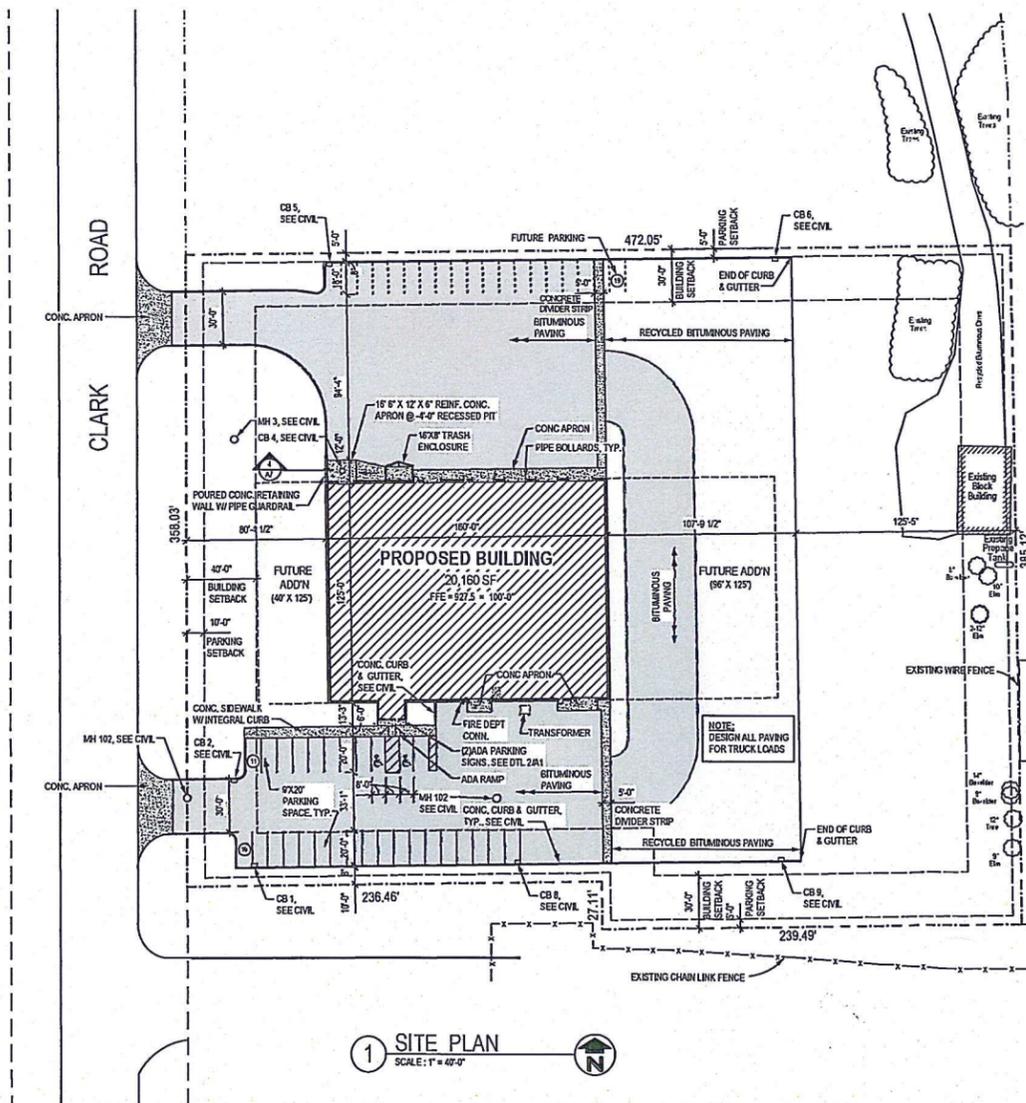
*General Contractors &
Construction Services*

7685 Corporate Way
Eden Prairie, MN 55344-2021
952-937-8214
952-934-9433 Fax
www.shawconstruct.com

A PROPOSED FACILITY FOR :



INVER GROVE HEIGHTS, MINNESOTA



CODE ANALYSIS		BASED ON 2007 MSBC & 2006 IBC, IFC	
OCCUPANCY TYPE:	S-1 MOTOR VEHICLE REPAIR M MERCHANDISE - PARTS SALES B OFFICE - (ACCESSORY USE)		
CONSTRUCTION TYPE: IS - NONCOMBUSTIBLE, NON-PROTECTED			
SPRINKLED:	YES, FULLY		
BUILDING AREA:	REPAIR SHOP: 10,751 S.F. PARTS STORAGE: 6,554 S.F. PARTS SALES: 1,832 S.F. OFFICE: 1,832 S.F. SUBTOTAL (MAIN FLOOR): 20,160 S.F. SECOND FLOOR: 1,832 S.F. TOTAL: 21,992 S.F.		
ALLOWABLE AREAS:	UNLIMITED PER S1-A - 2 STORY; GROUPS S-1, M, B SPRINKLED, WITH MIN. 60' ALL SIDES		
NON-SEPARATED USES:	NO FIRE RATED WALLS REQUIRED, IBC 508.3.2		
OCCUPANT LOAD:	OFFICE: 1,832 S.F. / 100 = 18.32 OCC/PTS (OCC) REPAIR SHOP: 10,751 S.F. / 200 = 53.76 OCC PARTS STORAGE / DOCK: 6,554 S.F. / 200 = 32.77 OCC PARTS SALES: 1,832 S.F. / 30 = 61.07 OCC TOTAL OCCUPANT LOAD (MAIN FLOOR): 128.03 OCC SECOND FLOOR OFFICE: 1,832 S.F. / 100 = 18.32 OCC TOTAL BUILDING OCCUPANT LOAD: 146.35 = 147 OCC.		
EXITS:	4 EXITS PROVIDED MAIN FLOOR 2 EXITS PROVIDED SECOND FLOOR		
	MINIMUM TRAVEL DISTANCE (MAIN FLOOR) = 154'-0" MINIMUM TRAVEL DISTANCE (SECOND FLOOR) = 129'-0" MINIMUM TRAVEL DISTANCE ALLOWED = 250'-0"		
	EXIT WIDTH PROVIDED: 4 X 25' = 100' EXIT WIDTH REQUIRED: 147 OCCUPANTS X 0.15 = 22.05'		
	PLUMBING FIXTURE REQUIREMENTS: BUSINESS: 18.32 + 18.32 = 36.64 OCCUPANTS / 2 = 18.32 MALE & 18.32 FEMALE 1 WC PER 25 FOR THE FIRST 50 OR 18.32 / 25 = .73 WATER CLOSETS REQUIRED FOR EACH SEX. 1 LAV PER 40 FOR THE FIRST 80 OR 18.32 / 40 = .46 LAVATORIES REQUIRED FOR EACH SEX. PARTS STORAGE / SHOP DOCK: 75.81 / 2 = 37.91 MALE & 37.91 FEMALE 1 WC PER 500 OR 17.85 / 500 = .04 WATER CLOSETS EACH SEX 1 LAV PER 750 OR 17.85 / 750 = .02 LAVATORIES EACH SEX MERCANTILE: 34.19 / 2 = 17.09 MALE & 17.09 FEMALE 1 WC PER 500 OR 17.09 / 500 = .03 WATER CLOSETS EACH SEX 1 LAV PER 750 OR 17.09 / 750 = .02 LAVATORIES EACH SEX TOTAL FIXTURES REQUIRED: .73 + .46 = 1.19 WATER CLOSETS EACH SEX REQUIRED 2 WC & 1 LAV FOR MALES PROVIDED 1 WC FOR WOMEN PROVIDED 75% OF OCCUPANTS ARE MEN: 1.14 - 75% = .86 WC FOR MEN 1.14 - 75% = 2.28 WC FOR MEN 48 + 38 = 86 LAVATORIES EACH SEX REQUIRED 1 FACILITY FOR MEN PROVIDED = 3 LAVS + 1 LAV + 4 LAVS 1 LAVATORY FOR WOMEN PROVIDED 1 SERVICE SIGN - PROVIDED 3 DRINKING FOUNTAINS PROVIDED		

PROPOSED IMPROVEMENT FOR:



INVER GROVE HEIGHTS, MINNESOTA



David Linner Architects
10100 Morgan Avenue S.
Minneapolis, MN 55431
PHONE: (952) 854-4455
FAX: (952) 854-0860

PRICING SET
NOT FOR CONSTRUCTION
4-27-12

PROPOSED BY:

SHAW
CONSTRUCTION

7685 Corporate Way
Eden Prairie, MN 55344-2021
952-937-8211
952-937-9433 Fax
www.shawconstruction.com

SHEET TITLE:

SITE PLAN
CODE ANALYSIS

DATE: 4-16-12 CITY SUBMITTAL
4-27-12 PRICING SET

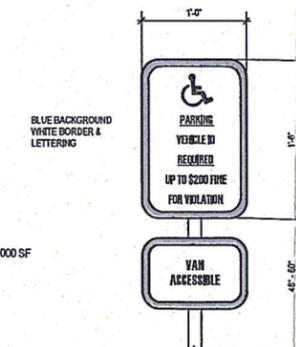
DRAWN BY: C.A.W. 1212
SHEET NO.

A1

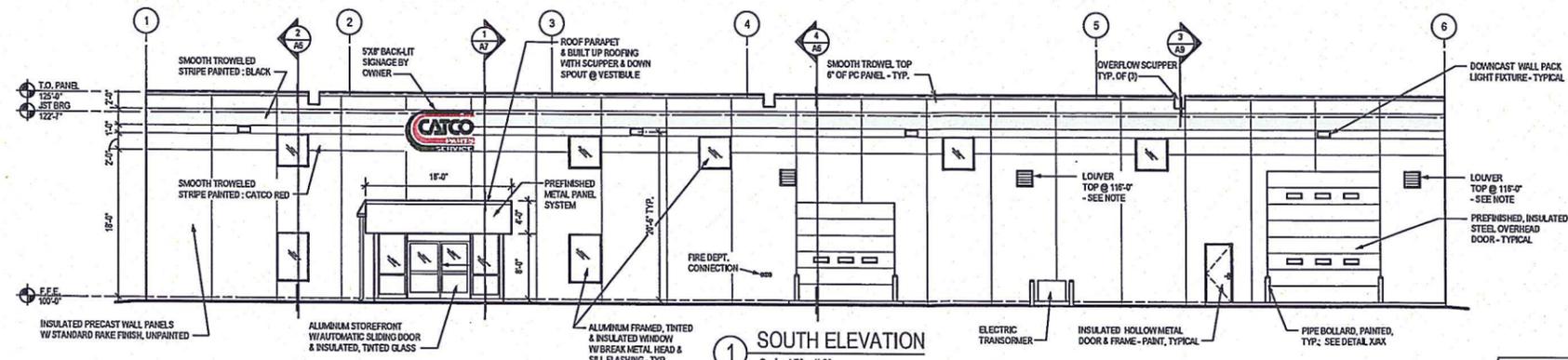
OF 9 SHEETS

PARKING REQUIREMENTS

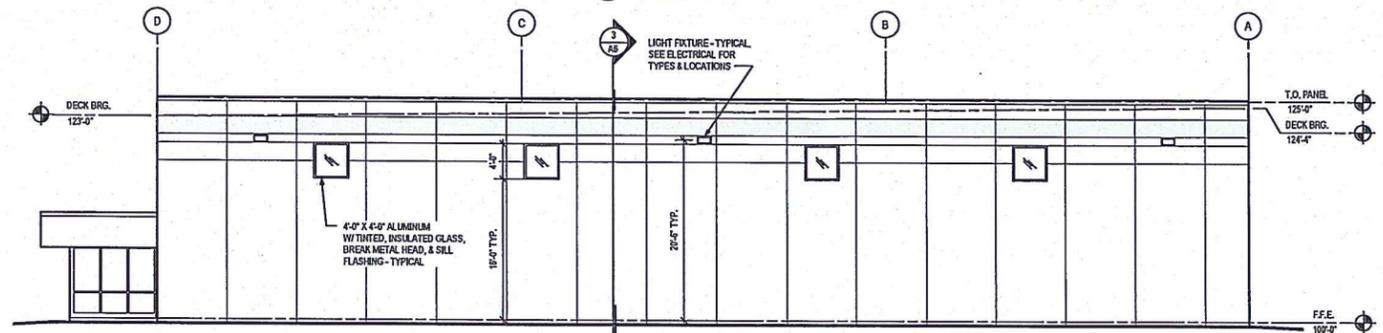
BUILDING AREA: 20,160 SF X 50% = 10,080 SF
PARKING REQUIRED:
8 SPACES + 1 SPACE FOR EACH 800 SF OF FLOOR AREA OVER 1,000 SF
17,144 SF / 800 SF = 21.43 SPACES
8 SP. + 21.43 SP. = 29.43 = 29 SPACES REQUIRED
29 SPACES SHOWN
FUTURE EXPANSION
5,000 SF + 12,000 SF = 17,000 SF X 90% = 15,300 SF
15,300 SF / 800 SF = 19.13 = 19 FUTURE SPACES REQUIRED



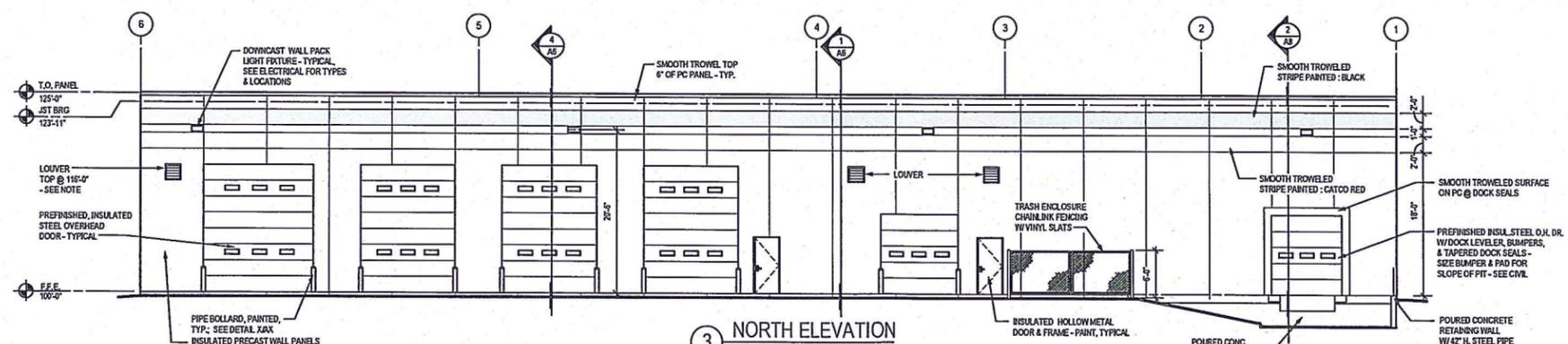
2 ACCESSIBLE PARKING SIGN
SCALE: 1 1/2" = 1'-0"



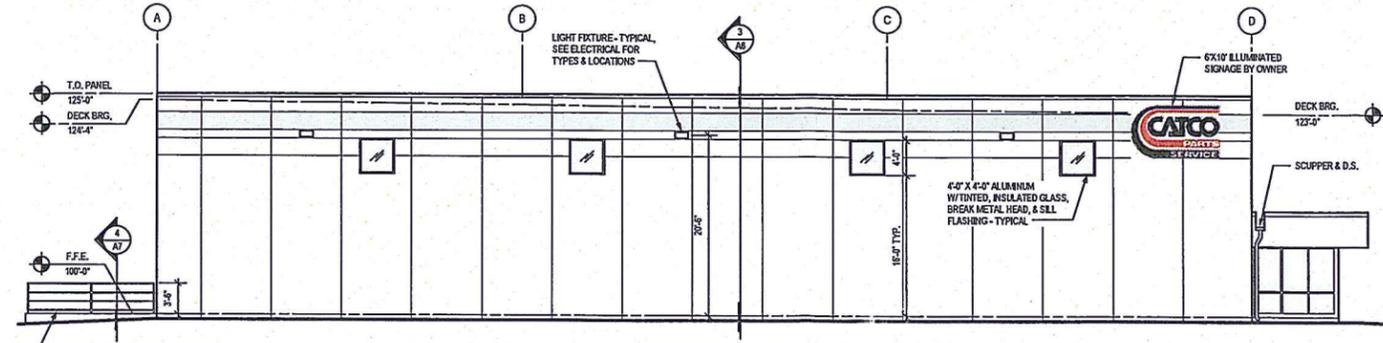
1 SOUTH ELEVATION
Scale: 1/8" = 1'-0"



2 EAST ELEVATION
Scale: 1/8" = 1'-0"



3 NORTH ELEVATION
Scale: 1/8" = 1'-0"



4 WEST ELEVATION
Scale: 1/8" = 1'-0"

NOTE:
LOUVERS TO BE LOCATED &
SIZED BY MECHANICAL CONTRACTOR

PROPOSED IMPROVEMENT FOR:



INVER GROVE HEIGHTS, MINNESOTA

David Linner
Architects
10100 Morgan Avenue S.E.
Minneapolis, MN 55425
PHONE: (762) 884-6425
FAX: (762) 884-0860

PRICING SET
NOT FOR CONSTRUCTION
4-27-12

PROPOSED BY:
SHAW
CONSTRUCTION
7645 Corporate Way
Eden Prairie, MN 55344-3021
952-937-8211
952-934-9453 Fax
www.shawconstruction.com

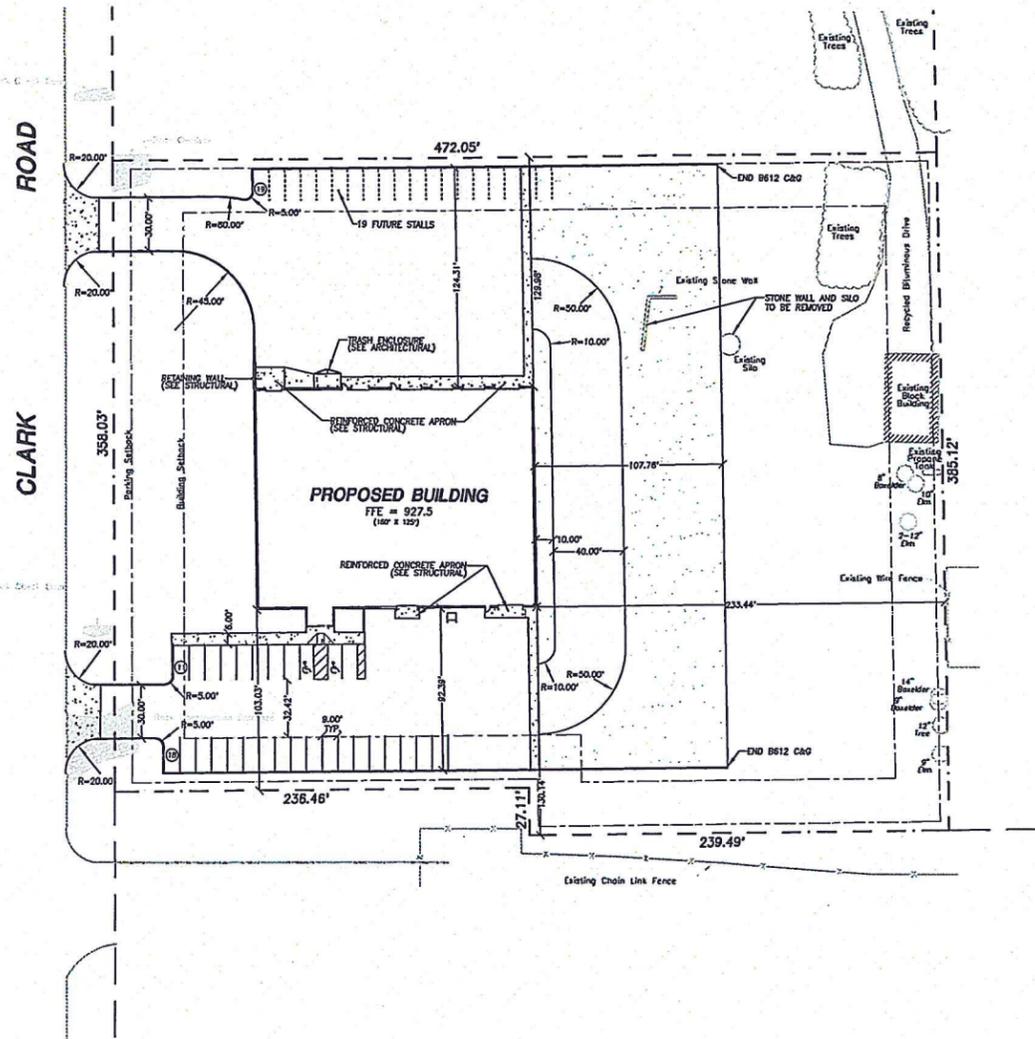
SHEET TITLE:
EXTERIOR ELEVATIONS

DATE: 4-16-12 CITY SUBMITTAL
4-27-12 PRICING SET

REVISION NO. 1212
DRAWN BY: C.A.W.
SHEET NO.

A3
OF 9 SHEETS

NURP POND
NWL - 916.0



SITE DATA

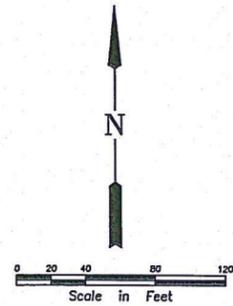
SITE AREA = 176,190 SQFT (4.04 ACRES)
 PHASE 1 IMPERVIOUS AREA = 98,866 SQFT (2.27 ACRES) = 56% IMPERVIOUS COVERAGE
 FULL SITE BUILDOUT IMPERVIOUS AREA = 129,015 SQFT (2.96 ACRES) = 73% IMPERVIOUS COVERAGE

SITE NOTES

- ① - All dimensions between curbing and to radius points are to face of curb.
- ② - All curb and gutter in the parking areas shall be type B-612 as per Detail 1/C4.
- ③ - All sidewalk shall be as per Detail 5/C4 unless otherwise noted.

LEGEND

- PROPOSED CONCRETE
- PROPOSED STD. DUTY BITUMINOUS
- PROPOSED RECYCLED BITUMINOUS
- BOUNDARY/ROW/BLOCK LINE
- EASEMENT
- BUILDING/PARKING SETBACK LINE



OWNER
 CATCO
 DAVE CERDES
 60 WEST STAMORE STREET
 ST. PAUL, MN 55117
 (651)-283-5940



7685 Corporate Way
 Eden Prairie, MN 55344-2021
 952-937-8214
 952-934-9433 Fax
 www.shawconstruct.com

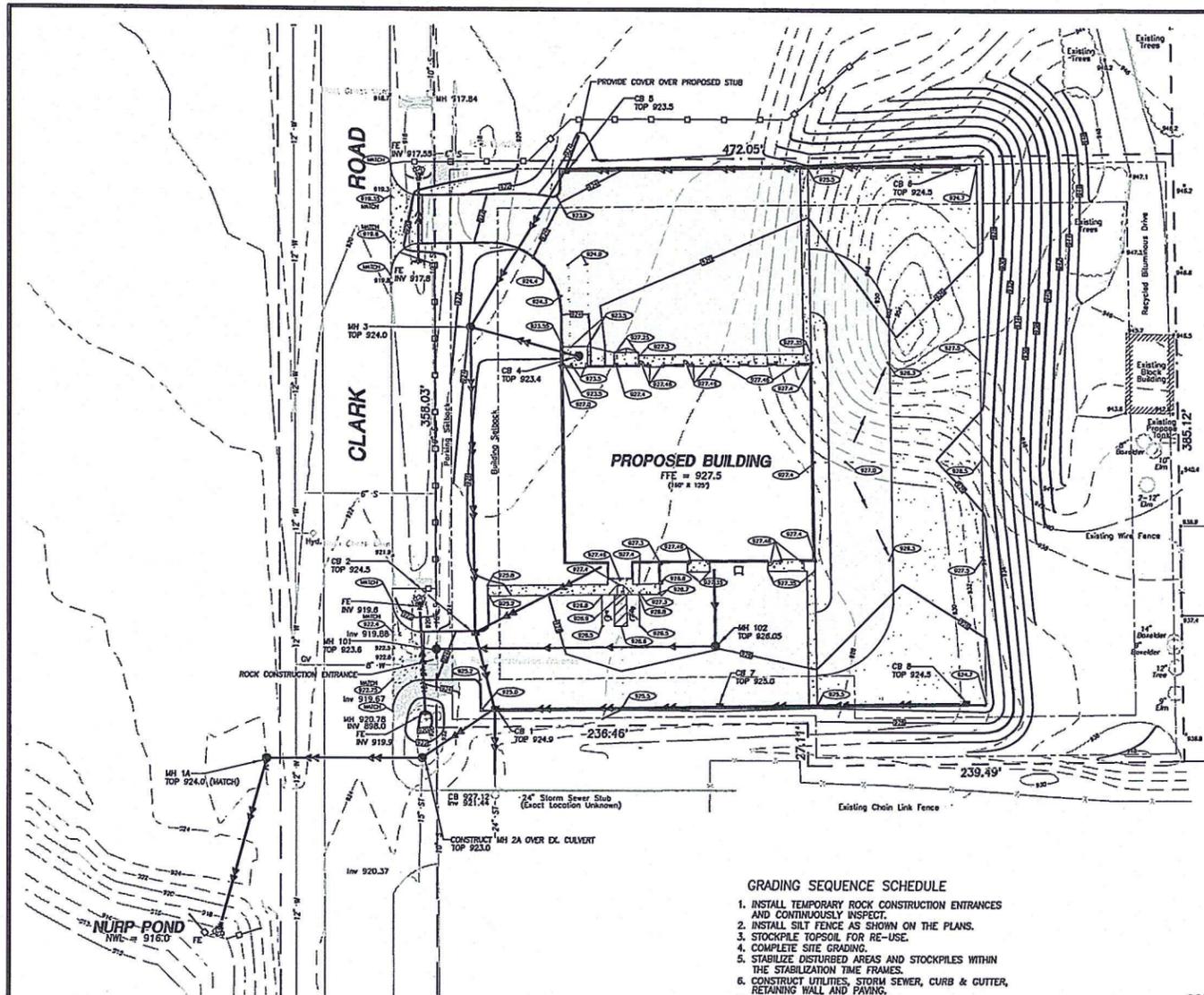
Rehder & Associates, Inc.
 Civil Engineers, Planners and Land Surveyors
 2440 Federal Drive, Suite 110 • Eden Prairie, Minnesota 55324
 952-937-8214 • Fax 952-934-9433 • email: info@rah.com
 PROJECT NO: 121-2552.010 DRAWING FILE: 2452010.DWG

I hereby certify that this plan was prepared by me or under my direct supervision and that the name of the drafter is on the list of registered professional engineers in the State of Minnesota.
PRELIMINARY
 Name: _____ Date: _____ Reg. No.: _____

Issued	Checked	Approved

SITE PLAN
 CATCO PARTS & SERVICE
 CITY OF INNER GROVE HEIGHTS

SHEET NUMBER
C1



GENERAL NOTES

- CONTRACTOR TO ADHERE TO ALL REQUIREMENTS OF THE MINNESOTA POLLUTION CONTROL AGENCY N.P.D.E.S. PERMIT.
- A COPY OF THESE PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- BMP'S REFER TO EROSION AND SEDIMENT CONTROL PRACTICES DEFINED IN THE MPCA PROTECTING WATER QUALITY IN URBAN AREAS AND THE MINNESOTA CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL PLANNING HANDBOOK.
- ALL EROSION AND SEDIMENT CONTROL FACILITIES (BMP'S) SHALL BE INSTALLED AND IN OPERATION PRIOR TO LAND DISTURBANCE ACTIVITIES.
- THE BMP'S SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS FOR THE ANTICIPATED SITE CONDITIONS. AS CONSTRUCTION PROGRESSES AND UNEXPECTED OR SEASONAL CONDITIONS DICTATE, THE CONTRACTOR SHALL ANTICIPATE THAT MORE BMP'S WILL BE NECESSARY TO ENSURE EROSION AND SEDIMENT CONTROL ON THE SITE, DURING THE COURSE OF CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY CONSTRUCTION ACTIVITIES AND/OR CLIMATIC EVENTS AND TO PROVIDE ADDITIONAL BMP'S OVER AND ABOVE THE MINIMUM REQUIREMENTS SHOWN ON THE PLANS THAT MAY BE NEEDED TO PROVIDE EFFECTIVE PROTECTION OF WATER AND SOIL RESOURCES. BARRIERS AND HYDROSEED TACKLER ARE EXAMPLES OF BMP'S THAT MAY BE USED IN LIEU OF SILT FENCE AND STANDARD SEEDING METHODS DURING THE WINTER WHEN CONDITIONS DO NOT ALLOW FOR STANDARD BMP INSTALLATION.
- WHENEVER POSSIBLE, PRESERVE THE EXISTING TREES, GRASS AND OTHER VEGETATIVE COVER TO HELP FILTER RUNOFF.
- OPERATE TRACK EQUIPMENT (DOZER) UP AND DOWN EXPOSED SOIL SLOPES ON FINAL PASS, LEAVING TRACK GROOVES PERPENDICULAR TO THE SLOPE, DO NOT BACK-BLADE. LEAVE A SURFACE ROUGH TO MINIMIZE EROSION.
- THE CONTRACTOR SHALL REMOVE ALL SOILS AND SEDIMENT TRACKED ONTO EXISTING STREETS AND PAVED AREAS.
- IF BLOWING DUST BECOMES A NUISANCE, THE CONTRACTOR SHALL APPLY WATER FROM A TANK TRUCK TO ALL CONSTRUCTION AREAS.
- IMMEDIATELY FOLLOWING SITE GRADING OPERATIONS AND PRIOR TO THE INSTALLATION OF UTILITIES, THE ENTIRE SITE (EXCEPT ROADWAYS) SHALL BE SEEDED AND MULCHED AND SILT FENCE SHALL BE INSTALLED AROUND ALL PONDS.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROPERLY DISPOSED OF WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.

GRADING SEQUENCE SCHEDULE

- INSTALL TEMPORARY ROCK CONSTRUCTION ENTRANCES AND CONTINUOUSLY INSPECT.
- INSTALL SILT FENCE AS SHOWN ON THE PLANS.
- STOCKPILE TOPSOIL FOR RE-USE.
- COMPLETE SITE GRADING.
- STABILIZE DISTURBED AREAS AND STOCKPILES WITHIN THE STABILIZATION TIME FRAMES.
- CONSTRUCT UTILITIES, STORM SEWER, CURB & GUTTER, RETAINING WALL AND PAVING.
- WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE STABILIZED, REMOVE ACCUMULATED SEDIMENT FROM STORMWATER POND, REMOVE SEDIMENT CONTROL BMP'S, AND RESEED ALL DISTURBED AREAS.

GRADING NOTES

- All elevations shown are to final surfaces.
- Contractor is responsible for obtaining a National Pollutant Discharge Elimination System (NPDES) General Storm Water Permit for Construction Activity before construction begins.
- Upon completion of the site grading, a certification letter and as-built survey, from a Registered Engineer or Land Surveyor, shall be provided to the City certifying that the site's grades are as shown.
- All slopes, swales, and emergency overflows shall be seeded and blanketed within 7 days of disturbance.

EROSION CONTROL NOTES

- Contractor is responsible for all notifications and inspections required by General Storm Water Permit.
- All erosion control measures shown shall be installed prior to grading operations and maintained until all areas disturbed have been restored.
- Sweep paved public streets as necessary where construction sediment has been deposited.
- Each area disturbed by construction shall be restored per the specifications within 14 days after the construction activity in that portion of the site has temporarily or permanently ceased.
- Temporary soil stockpiles must have silt fence around them and cannot be placed in surface waters, including storm water conveyances such as curb and gutter systems, or conduits and ditches.
- All pipe outlets must be provided with temporary or permanent energy dissipation within 24 hours of connection to a surface water.
- Excess concrete/water from concrete trucks shall be disposed of in portable washout concrete basin or disposed of in a contained area per the City's detail.

CONTROL DEVICE OPERATION SCHEDULE

ITEM	INSTALLATION	REMOVAL
SILT FENCE	PRIOR TO ANY CONSTRUCTION	AFTER SITE HAS BEEN RESTORED
ROCK ENTRANCE	PART OF INITIAL GRADING	WHEN PARKING LOT IS PAVED
INLET PROTECTION	SAME DAY STRUCTURE IS CONSTRUCTED	AFTER SITE HAS BEEN RESTORED

INSPECTION AND MAINTENANCE

- The site must be inspected once every seven (7) days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours.
- All inspections and maintenance conducted must be recorded in writing and records retained with the SWPPP.
- Areas of the site that have undergone final stabilization, may have the inspection of these areas reduced to once per month.
- All silt fence must be repaired, replaced, or supplemented within 24 hours when they become nonfunctional or the sediment reaches 1/3 of the height of the fence.
- Surface waters and conveyance systems must be inspected for evidence of sediment being deposited. Removal and stabilization must take place within seven (7) days of discovery unless precluded by legal, regulatory, or physical access constraints.
- Construction site vehicle exit locations must have sediment removed from off-site paved surfaces within 24 hours of discovery.

POLLUTION PREVENTION MANAGEMENT

- All solid waste must be disposed of off-site per the MPCA disposal requirements.
- All hazardous waste must be properly stored with restricted access to storage areas to prevent vandalism. Storage and disposal of hazardous waste must be in compliance with MPCA Regulations.



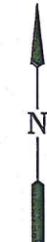
7685 Corporate Way
Eden Prairie, MN 55344-2021
952-937-8214
952-934-9433 Fax
www.shawconstruct.com

Rehder & Associates, Inc.
Civil Engineers, Planners and Land Surveyors
1540 Federal Drive, Suite 110, Eden Prairie, MN 55344
952-934-5611 Fax 952-934-5607 www.rhainc.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of MINNESOTA.
PRELIMINARY
Name: _____ Date: _____
Reg. No. _____

LEGEND

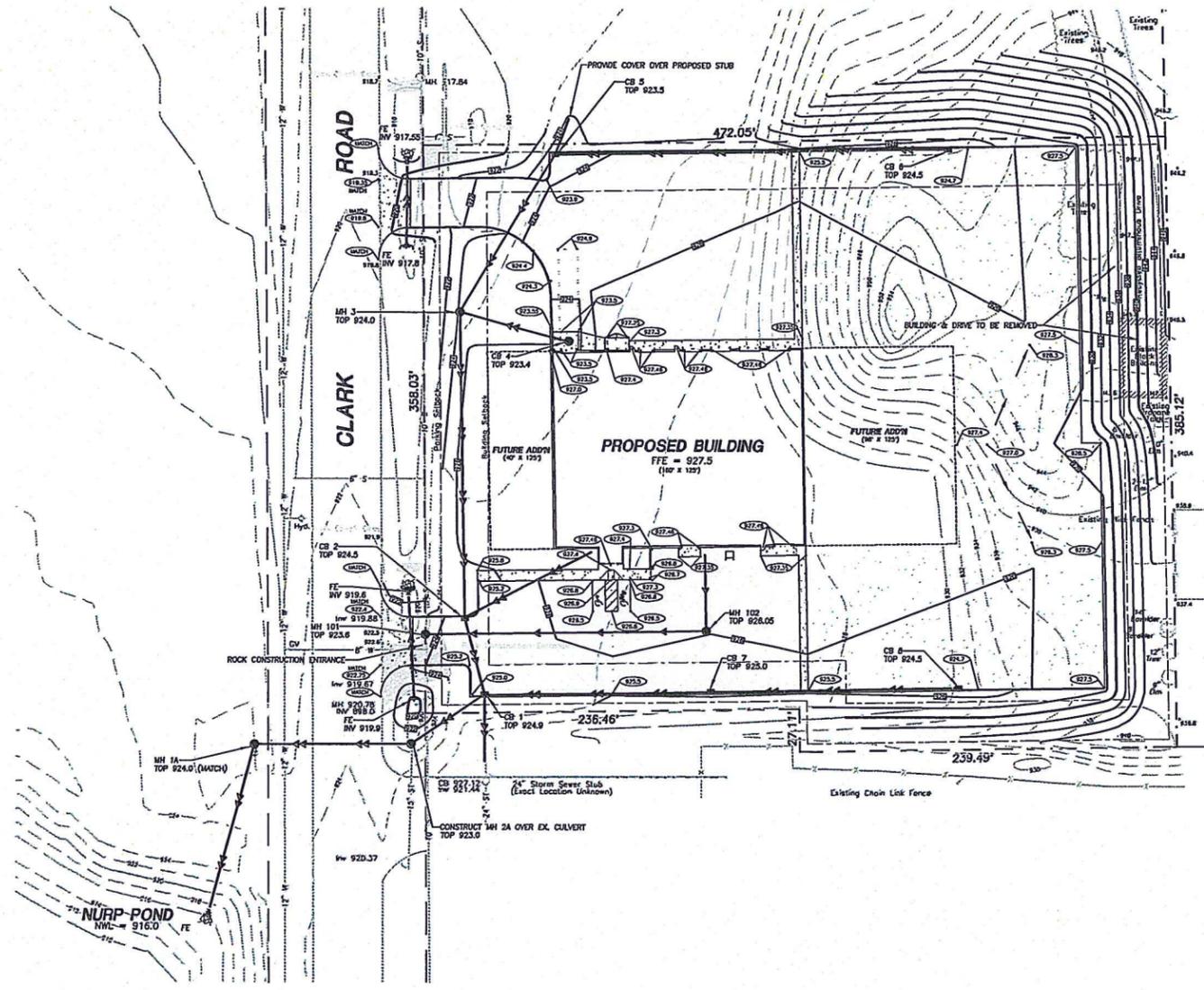
- PROPOSED MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED FLARED END
- PROPOSED STORM SEWER
- PROPOSED CONCRETE
- PROPOSED STD. DUTY BITUMINOUS
- PROPOSED RECYCLED BITUMINOUS
- PROPOSED ELEVATION
- PROPOSED ELEVATION
- SILT FENCE
- BOUNDARY/ROW/BLOCK LINE
- EASEMENT
- BUILDING/PARKING SETBACK LINE
- DRAINAGE ARROW
- EXISTING WATERMAN
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING CONTOUR
- EXISTING ELEVATION



GRADING & EROSION CONTROL PLAN
CATCO PARTS & SERVICE
CITY OF INVER GROVE HEIGHTS

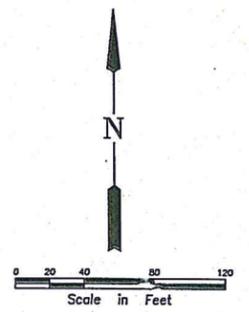
SHEET NUMBER

C2



SITE DATA
 SITE AREA = 176,190 SQFT (4.04 ACRES)
 PHASE 1 IMPERVIOUS AREA = 98,866 SQFT (2.27 ACRES) = 56% IMPERVIOUS COVERAGE
 FULL SITE BUILDOUT IMPERVIOUS AREA = 129,015 SQFT (2.96 ACRES) = 73% IMPERVIOUS COVERAGE

- LEGEND**
- PROPOSED MANHOLE
 - PROPOSED CATCH BASIN
 - ▲ PROPOSED FLARED END
 - PROPOSED STORM SEWER
 - ▭ PROPOSED CONCRETE
 - ▭ PROPOSED STD. DUTY BITUMINOUS
 - ▭ PROPOSED RECYCLED BITUMINOUS
 - PROPOSED CONTOUR
 - PROPOSED ELEVATION
 - SILT FENCE
 - BOUNDARY/ROW/BLOCK LINE
 - - - EASEMENT
 - - - BUILDING/PARKING SETBACK LINE
 - DRAINAGE ARROW
 - w — EXISTING WATERMAIN
 - s — EXISTING SANITARY SEWER
 - ST — EXISTING STORM SEWER
 - 80 — EXISTING CONTOUR
 - 95.50 — EXISTING ELEVATION



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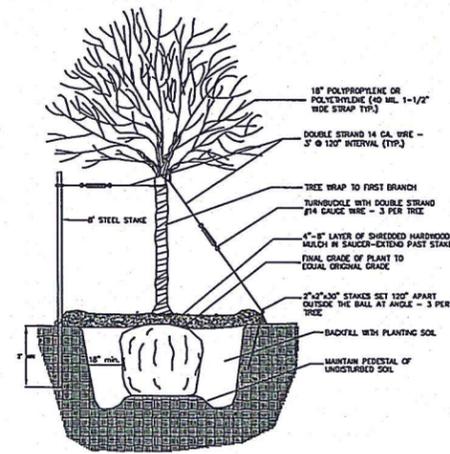
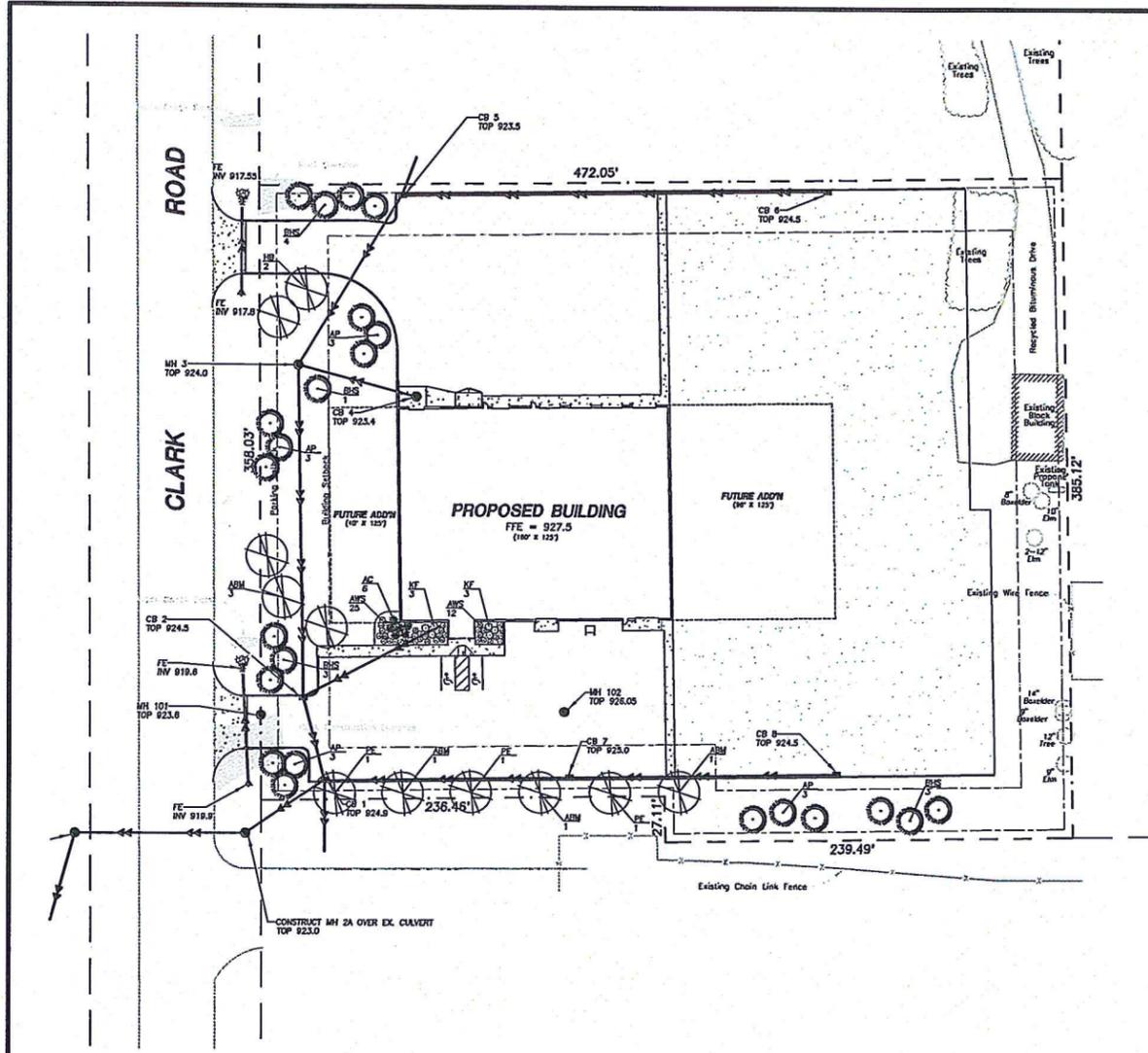
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 PROJECT NO: 121-2552.010 DRAWING FILE: 2552010.DWG

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.
PRELIMINARY
 Name: _____ Date: _____ Reg. No.: _____

Issued	4-18-12
CONDITIONAL PERMIT	4-27-12
PROPOSED SET	

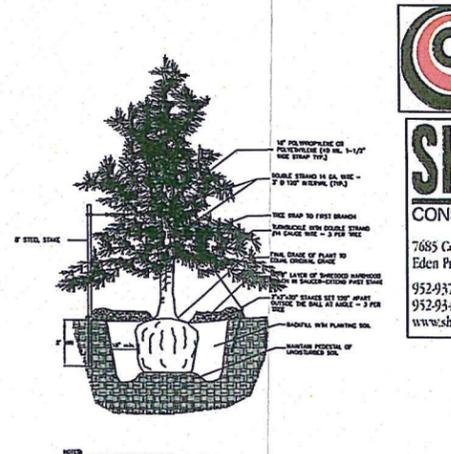
FUTURE/FULL BUILD OUT GRADING PLAN
 CATCO PARTS & SERVICE
 CITY OF INVER GROVE HEIGHTS

SHEET NUMBER
C5



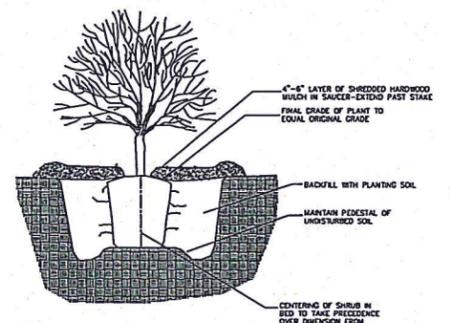
NOTES:
TWO ALTERNATE METHODS OF TREE STAKING ARE SHOWN.
IT IS THE CONTRACTOR'S OPTION TO STAKE TREES; HOWEVER, THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTAINING TREES IN A PLUMB POSITION THROUGHOUT THE GUARANTEE PERIOD.
SCAFFRY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.

DECIDUOUS TREE PLANTING DETAIL



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SCAFFRY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.

CONIFEROUS TREE PLANTING DETAIL



NOTES:
HARD LOOSEN ROOTS OF CONTAMINATED MATERIAL (TYP.).
SCAFFRY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.

SHRUB PLANTING DETAIL

REQUIRED LANDSCAPE MATERIALS

Required Landscape Trees
1 line per 50 L.F. of lot perimeter
Lot perimeter = approx. 1,718 linear feet
1,718/50 = 34 trees
Total Required = 34
Total Provided = 34

PLANT LIST: Site Plantings

QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE/ROOT
TREES				
6	AM	Acer fraxinosa 'Jefferson'	Autumn Blaze Maple	2-1/2" B&B
3	RS	Ulmus x 'Patriot'	Patriot Elm	2-1/2" B&B
2	PA	Celtis occidentalis	Hickory	2-1/2" B&B
11	BS	Pinus glauca densata	Black Hills Spruce	8"-0" B&B
12	AP	Pinus strobus	Austrian Pine	8"-0" B&B
34 Total Trees				
SHRUBS				
6	KF	Colonyville coccinea	Karl Forester	6 Cal. Pot
6	AC	Viburnum, Trilobum	Alfred compound Cranesbane	6 Cal. Pot
37	MS	Spiraea x bairdii 'Anthony Water'	Anthony Waterer Spiraea	6 Cal. Pot
49 Total Shrubs				

LANDSCAPE SPECIFICATIONS

GENERAL
Furnish all work required to complete as indicated by the contract documents and furnish all supplementary items necessary for completion of work specified.

REFERENCES - QUALITY ASSURANCE
Comply with all applicable federal, state, county and local regulations governing landscape materials and work.

Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified person acceptable to the owner.

All materials will be judged by the AHS American Standards for Nursery Stock, Latest Edition, American Joint Committee on Horticultural Nomenclature, Latest Edition, State Highway Department Standard Specifications for Construction, State Highway Department Standard Specifications for Construction.

Coordinate planting with irrigation system installation and review continuously to insure complete coverage of plant materials.

Coordinate backfill and grading issues with general contractor so as unproductive work duplication or delays do not occur.

GUARANTEE - LIABILITY
Contractor assumes all liability and replacement requirements of materials which are damaged, stolen, or misplaced on the job site prior to acceptance of work.

Owner may request contractor to submit delivery tickets of bulk soil deliveries to confirm source and quality of material.

All plants will be guaranteed for a period of one (1) year from the date of final acceptance. Owner will be responsible for proper maintenance of plants after final acceptance.

Contractor will replace plants which have partially died, thereby damaging shape, size, or symmetry. During guarantee period, dead and unsightly plant materials will be removed and replaced immediately. Guarantee excludes damages caused by vandalism, freeze, drought, insect infestation, or other acts of God. Special equipment required for replacement plants due to access problems are not to be included in the basic project costs. This is a negotiated item at time of replacement only.

Shrub plantings will be done in beds properly prepared using mulch and organic compost. Verify planting areas have been provided as indicated on the plan. Remove all surface rock or debris deposited by previous work operation or excavation performed to create specified bed. Excavate as necessary to provide for thorough bleeding of 50 percent existing soil and 50 percent compost (Dried 4 inches into existing soil to create a firm, loose condition, suitable for good plant growth. Notify owner if existing soil is unsuitable. Contractor will insure positive drainage exists in all areas. Specified bed preparation will only be done in shrub plant areas, not over general areas where rock is indicated.

MAINTENANCE - ACCEPTANCE
Contractor will maintain all plant materials including turf mowing until final acceptance. It is the owner's intention to accept the project as soon as the contractor has demonstrated a complete project is ready for final acceptance.

SOIL PREPARATION MATERIALS
Topsoil will be local in origin, clean friable, dark in color, free from lumps of clay, rocks, weeds, or other noxious materials.
Mulch will be aged, finely shredded bark mulch, brown in color run through a hammer mill and screened of undesirable material.
Compost will be a recognized brand of peat moss common to the locale, typically used in the landscape trade as a soil amendment to provide a natural acidic, biologically active additive to the soil.
Fertilizer recommendations will be provided to the owner appropriate to the site conditions and time of year for all plant materials including the lawn turf.

MISCELLANEOUS MATERIALS
Edging will be 6 inch, commercial grade, black poly such as Black Diamond or approved equal.

HERBICIDES - PESTICIDES - FUNGICIDES - FUNGICIDES
Contractor may use all means necessary to prepare the site and maintain the materials if properly handled and applied in order to prevent injury to humans, domestic animals, desirable plant life, fish and other wildlife. Contractor will follow all manufacturer directions for applications and heed all labeled warnings. Failure to do so will result in termination from the project.

All trees will be planted in pockets twenty-four (24) inches greater in diameter than root ball and no deeper than depth of root ball. Prior to planting, fill pit one-half full of water to determine drainage at the end of twenty-four (24) hour period. If no poor drainage exists, backfill pit with existing soil. Form a 4 inch watering ring at base of tree and add a 2 inch layer of shredded mulch. Notify owner of any poor drainage issues.

FINAL GRADING
Loosen and fine rake areas to break up lumps and produce a smooth, even gradient free of unsightly variations, ridges or depressions. Grading of water in finished areas will not be permitted. Remove from site all stones, rock, and debris one (1) inch or larger. Final grading is subject to critical owner review only after repeated watering or rains to insure settlement has not adversely affected drainage patterns.

LAWN TURF (SOODED AREAS)
Provide fresh, clean, strongly rooted sod not less than two (2) years old with a uniform thickness of not less than two (2) inches, free of weeds and undesirable grasses for 2 rows behind all curbs/gutters, sidewalks and along the west face of the proposed building. Mow lawn prepared grade if soil is dry. Starter strips (first row of sod) will be laid in a straight line behind sidewalk or other constructed edge with subsequent rows placed parallel to and tight against each other. Lateral joints will be staggered to promote more uniform growth and strength. Care will be taken to insure that sod is not stretched or over tapered and that all joints are buttered right in order to prevent voids which cause air drying of roots. Rake topsoil over joints to fill any spaces. Tamp or roll with light turf roller to eliminate all air pockets.
Contractor will maintain turf by fertilizing, watering and mowing until final acceptance.
Contractor will establish a dense lawn turf of permanent grass prior to final acceptance.

LAWN TURF (SEEDED AREAS)
Provide commercial turf establishment seed shall be MANDOT Mixture 260 @ 100 lbs/acre, fertilizer shall be 10-10-10 (NPK) commercial grade, and mulch shall be MANDOT Type 1.
Contractor will maintain turf by fertilizing and watering until final acceptance.
Contractor will establish a dense lawn turf of permanent grass prior to final acceptance.

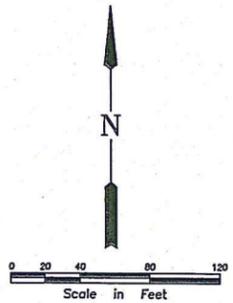
PRUNING
Pruning will be limited to the minimum necessary to remove dead wood, suckers, broken limbs or branches and to compensate for loss of roots during transplanting. In no case will pruning exceed one fourth the branching structure of the plant. Pruning will preserve the natural character and structure of the plant. All pruning operations will be performed in accordance with standard arboricultural practices.

FERTILIZATION
All trees, shrubs, ground cover and lawn turf will be fertilized in a one time application of an approved fertilizer based on the contractor's observations of site conditions and experience in the area.

LANDSCAPE ROCK
After work of planting has been completed, landscape all planting areas with landscape river rock to a depth of 4".

EDGING INSTALLATION
All edging specified will be set flush with finish grade in alignments designated on the plans.

CLEAN UP
Remove all debris generated by work operations from the site daily.
All paved areas will be cleaned daily by washing and sweeping. Remove line markings from all concrete surfaces.
Leave entire planting area in a raked condition free of debris and paved surfaces in a broom clean condition ready for final acceptance by owner.



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ISSUED

4-18-12	REVISED
4-17-12	REVISED
4-17-12	REVISED

LANDSCAPE PLAN
CATCO PARTS & SERVICE
CITY OF INVER GROVE HEIGHTS
SHEET NUMBER
L1