

**INVER GROVE HEIGHTS  
PLANNING COMMISSION AGENDA**

TUESDAY, JUNE 4, 2013 – 7:00 p.m.  
City Council Chambers - 8150 Barbara Avenue

1. **CALL TO ORDER**
  
2. **APPROVAL OF PLANNING COMMISSION MINUTES FOR MAY 21, 2013.**
  
3. **APPLICANT REQUESTS AND PUBLIC HEARINGS**

**3.01 RENEE VON BERGE - CASE NO. 13-20V**

Consider a **Variance** to allow a 25 foot front yard setback for a porch addition whereas 30 feet is the required setback for the property located at 8419 Calvin Court.

Planning Commission Action \_\_\_\_\_

**3.02 DAKOTA COUNTY CDA- CASE NO. 13-16SZPC**

Consider the following requests for the property located at the corner of Cheney Trail and Cahill Avenue, identified as PID No. 20-11900-00-030:

- a) A **Ordinance Amendment** to the Arbor Point PUD Ordinance 789 to change the master land use plan from R&D, Research and Development to R-III, Approximately 6-12 dwelling units an acre.

Planning Commission Action \_\_\_\_\_

- b) A **Comprehensive Plan Amendment** to change the land use designation from O, Office to MDR, Medium Density Residential.

Planning Commission Action \_\_\_\_\_

- c) A **Final Plat and Final PUD** development plan for a 66 unit multiple-family senior housing development.

Planning Commission Action \_\_\_\_\_

- d) A **Conditional Use Permit** for multiple-family, 66 unit senior housing development.

Planning Commission Action \_\_\_\_\_

- e) A **Variance** from the minimum landscape standard.

Planning Commission Action \_\_\_\_\_

**3.03 DON AND SUE SCHLOMKA – CASE NO. 13-19SC**

Consider the following requests for the property located north of the Travel Plaza and identified as PID No. 20-34490-00-010:

- a) A **Final Plat** for a one lot subdivision.

Planning Commission Action \_\_\_\_\_

- b) A **Conditional Use Permit** for a contractors yard with outdoor storage.

Planning Commission Action \_\_\_\_\_

- c) A **Major Site Plan Review** to construct a 12,500 square foot building.

Planning Commission Action \_\_\_\_\_

**3.04 HALLBLADE PROPERTIES, LLC– CASE NO. 13-18SC**

Consider the following requests for the property located south of Tractor Supply and west of Cahill Avenue, identified as PID No's. 20-11901-01-030 and 20-11901-01-020

- a) A **Preliminary and Final Plat** for a one lot subdivision.

Planning Commission Action \_\_\_\_\_

- b) A **Conditional Use Permit** for outdoor storage.

Planning Commission Action \_\_\_\_\_

- c) A **Major Site Plan Review** for a retail trailer sales operation.

Planning Commission Action \_\_\_\_\_

**4. OTHER BUSINESS**

**5. ADJOURN**

## PLANNING COMMISSION MINUTES - CITY OF INVER GROVE HEIGHTS

Tuesday, May 21, 2013 – 7:00 p.m.  
City Hall Chambers - 8150 Barbara Avenue

Chair Hark called the Planning Commission meeting to order at 7:00 p.m.

Commissioners Present: Armando Lissarrague  
Tony Scales  
Dennis Wippermann  
Annette Maggi  
Paul Hark  
Pat Simon  
Victoria Elsmore  
Bill Klein

Commissioners Absent: Harold Gooch (excused)

Others Present: Allan Hunting, City Planner

### **APPROVAL OF MINUTES**

The minutes from the May 7, 2013 Planning Commission meeting were approved as submitted.

### **PAWN AMERICA – CASE NO. 13-15V**

#### **Reading of Notice**

Commissioner Scales read the public hearing notice to consider the request for a variance to allow a wall sign to exceed the 100 square foot maximum in the B-3 zoning district, for the property located at 5300 South Robert Trail. 2 notices were mailed.

#### **Presentation of Request**

Allan Hunting, City Planner, explained the request as detailed in the report. He advised that Pawn America is requesting a variance to allow a wall sign larger than 100 square feet. They currently have two signs; one 99.6 square feet in size and the other 63 square feet in size. They are proposing to use the existing letters and reconfigure the two signs into one, spacing the letters farther apart to make the sign easier to read from South Robert Trail. The reconfiguration of the sign layout would result in a rectangle size of 183.3 square feet. Staff recommends approval of the request with the practical difficulty being that the sign letter size is not changing and the angle of the building and its orientation to South Robert Trail causes the visual of the sign to be at an angle which compresses the lettering spacing.

Chair Hark asked staff to clarify the traffic safety issues.

Mr. Hunting replied that the angle of the building and its orientation to South Robert Trail made it difficult for customers using South Robert Trail to travel to the store and determine where to turn.

Chair Hark asked if the applicants were essentially requesting 20 additional square feet of signage from what they had existing.

Mr. Hunting replied in the affirmative, stating the actual letters were exactly the same; it was just the way it was measured that changed the overall size.

Commissioner Simon asked how much total maximum signage was allowed, noting that they had a

freestanding sign and another wall sign on the northwest side as well.

Mr. Hunting replied that the aggregate signage on that site was well under the maximum allowed.

### **Opening of Public Hearing**

John Hollenbeck, Lawrence Sign, 945 Pierce Butler Route, St. Paul, advised he was available to answer any questions.

Chair Hark asked if the applicant understood the recommendations listed in the report.

Mr. Hollenbeck replied in the affirmative, and thanked staff for their help.

Commissioner Simon referred to a newspaper article regarding PA Exchange, and asked if the business planned to retain the Pawn America name.

Mr. Hollenbeck replied there has been no indication that this store would change their name to PA Exchange. He advised that he believed the company was going to introduce a new concept in some locations by separating the pawn business from the actual retail outlet and naming the retail portion PA Exchange.

Chair Hark closed the public hearing.

### **Planning Commission Recommendation**

Motion by Commissioner Klein, second by Commissioner Lissarrague, to approve the request for a variance to allow a wall sign to exceed the 100 square foot maximum size in the B-3 zoning district, for the property located at 5300 South Robert Trail.

Motion carried (8/0). This item goes to the City Council on June 10, 2013.

### **DAMIAN GUON – CASE NO. 13-14CV**

#### **Reading of Notice**

Commissioner Scales read the public hearing notice to consider the request for a conditional use permit to allow sheet metal siding on an accessory building in the A, Agricultural zoning district, and a variance to allow a 2,400 square foot accessory building whereas 1,600 square feet is the maximum size allowed, for the property located at 7175 Angus Avenue. 13 notices were mailed.

#### **Presentation of Request**

Allan Hunting, City Planner, explained the request as detailed in the report. He advised that the subject lot is 4.74 acres in size and is located in the A, Agricultural zoning district. The applicant is requesting to construct a 2,400 square foot sheet metal accessory building on his property whereas 1,600 square feet is allowed. Sheet metal siding is allowed on pole buildings in the A zoning district by conditional use permit (CUP). Staff recommends denial of the variance request as it does not meet the variance criteria, including the lack of a practical difficulty. Staff would support a CUP for sheet metal siding for a detached building up to 1,600 square feet in size with the conditions listed in Alternative A of the report. He also noted that the applicant received a variance to allow a 3,000 square foot accessory building in 2006; however, the structure was never built and the variance has since lapsed.

Chair Hark noted that a similar request recently came before the Commission.

Mr. Hunting advised that situation was different in that the lot in that case was originally created as

a five acre parcel, which would have allowed a 2,400 square foot accessory structure. When the subdivision ordinance was subsequently put in place, however, the road right-of-way was excluded and it resulted in a lot less than five acres.

Commissioner Maggi asked how large a building would be allowed in the Agricultural zoning district if the lot was five acres or larger.

Mr. Hunting replied they would be allowed a maximum gross floor area of 2,400 square feet.

Commissioner Simon asked if Angus Avenue would eventually be extended to connect 70<sup>th</sup> Street to 80<sup>th</sup> Street.

Mr. Hunting replied he was not aware of any such discussion.

Commissioner Lissarrague asked how far the building would have to be setback from the adjacent property.

Mr. Hunting replied at least 50 feet from any property line, stating setbacks were not an issue in this case as the proposed request far exceeded any minimum setback requirements.

#### **Opening of Public Hearing**

Damian Guon, 7175 Angus Avenue East, advised he was available to answer any questions.

Chair Hark asked the applicant if he understood the staff recommendations listed in the report.

Mr. Guon replied in the affirmative.

Commissioner Lissarrague asked the applicant why he did not build the accessory structure after receiving variance approval in 2006.

Mr. Guon replied because of economic and personal reasons.

Commissioner Simon asked if staff heard from any of the neighbors.

Mr. Hunting replied they had not.

Chair Hark closed the public hearing.

#### **Planning Commission Discussion**

Chair Hark stated he had no issues with the CUP, but was concerned about the significant increase being requested in maximum building size.

Commissioner Wippermann stated he had no issues with the CUP request either, however, he did not support the variance request as it would set a precedent.

Commissioner Klein asked if the parcel just south of Mr. Guon was buildable.

Mr. Guon replied the three acre lot was owned by Keith Carlson and was buildable.

Commissioner Klein asked if the subject lot was hooked up to City water and sewer.

Mr. Guon replied it was not.

Commissioner Klein stated it was fairly secluded in this area and he had no issue with the request.

Commissioner Scales stated he would likely vote to deny the variance request due to lack of practical difficulty; however, he would like to see the ordinance changed to allow even larger accessory structures on large sized lots.

Commissioner Maggi stated the Commission voted to deny a similar request last fall, and to be consistent she would vote against this request as well.

Chair Hark stated he would be voting to deny the request as it did not meet the variance criteria; however, he agreed with Commissioner Scales that perhaps City Council could look at reevaluating the building size allowed on larger lots.

Corey Larsen, Lester Buildings, asked the Commission to consider the fact that the applicant paid the previous application fee, received a variance, but was not able to build it because of personal hardship. He stated the building would not be very visible because it would be 200 feet deep into the property.

Commissioner Simon advised that economic considerations do not constitute a hardship, and she would have a hard time approving the variance without a practical difficulty.

Commissioner Lissarrague asked what the size guidelines were for an accessory structure prior to the ordinance change in 2006.

Mr. Hunting replied that prior to the ordinance change lots less than five acres were allowed the maximum of a 1,000 square foot accessory structure.

Commissioner Lissarrague advised Mr. Larsen of the process, stating the Planning Commission's recommendation would be forwarded to City Council for final approval/denial.

Mr. Larsen asked if the applicant would be allowed to have a 2,400 square foot building if he purchased enough additional adjacent land to total five acres.

Mr. Hunting stated such a land transaction would be problematic as it would require surveys and an application submittal. If the land was purchased from a lot that was substandard in size it could not be reduced any further without a variance.

Commissioner Lissarrague reminded the applicant that the accessory building could not be used for commercial purposes.

#### **Planning Commission Recommendation**

Chair Hark suggested the Planning Commission vote on each request separately.

Motion by Commissioner Wippermann, second by Commissioner Simon, to deny the request for a variance to allow a wall sign 183 square feet in size whereas 100 square feet is the maximum size allowed, for the property located at 5300 South Robert Trail, for the reasons outlined in Alternative B of the staff report.

Motion carried (7/1 - Klein).

Motion by Commissioner Klein, second by Commissioner Maggi, to approve the request for a conditional use permit to allow sheet metal siding on an accessory building in the A, Agricultural zoning district, for the property located at 5300 South Robert Trail, with the conditions listed in

Alternative A of the staff report.

Motion carried (8/0). This item goes to the City Council on June 10, 2013.

**OTHER BUSINESS**

Mr. Hunting discussed the termination of agenda packet hand delivery. He advised that Commissioners have the option to access the packets electronically from the City's website or pick them up. The packets will be available at City Hall the Friday before a meeting until 4:30 p.m. After 4:30 the packets will be brought to the community center where they can be picked up after hours or on the weekend. Please contact Kim if you prefer to access your packets electronically so she can determine the appropriate amount of packets to prepare.

Commissioner Klein stated he would like the option to access packets electronically to save the City money, but receive a hard copy of any packets that were unusually large.

Commissioner Elsmore stated she has been accessing her packets electronically and felt the process worked well. It also allowed her to better view the maps using the zoom feature.

Mr. Hunting congratulated Commissioners Klein, Simon and Wippermann on their reappointment to the Planning Commission.

**ADJOURNMENT**

The meeting was adjourned by unanimous vote at 7:40 p.m.

Respectfully submitted,

Kim Fox  
Recording Secretary

**PLANNING REPORT  
CITY OF INVER GROVE HEIGHTS**

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**REPORT DATE:** May 30, 2013

**CASE NO:** 13-20V

**HEARING DATE:** June 4, 2013

**APPLICANT/PROPERTY OWNER:** Renee Von Berge

**REQUEST:** Variance from the corner front setback

**LOCATION:** 8419 Calvin Court

**COMPREHENSIVE PLAN:** Low Density Residential

**ZONING:** PUD, Arbor Pointe Planned Unit Development

**REVIEWING DIVISIONS:** Planning

**PREPARED BY:** Heather Botten   
Associate Planner

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**BACKGROUND**

The applicant is requesting a Variance from the front setback requirement to allow the construction of a porch addition 25 feet from the corner front property line whereas 30 feet is the required setback. The property is surrounded by three roads: Cahill Avenue, College Trail, and Calvin Court. The 13' x 16' porch addition would be kept in line with the existing home maintaining the current setback.

**SPECIFIC REQUEST**

The following specific application is being requested:

- 1) A variance from the front yard setback to construct a porch addition 25 feet from the corner front property line whereas 30 feet is the required setback along College Trail.

**EVALUATION OF THE REQUEST**

**SURROUNDING USES:** The subject site is surrounded by the following uses:

North, South and East-	Single Family Residential; zoned PUD; guided Low Density Residential
West -	Tower site; zoned P, Public/Institutional; guided Public/Institutional

### VARIANCE REVIEW

City Code Title 11, Chapter 3. **Variations**, states that the City Council may grant variations when they are in harmony with the general purposes and intent of the zoning ordinance and consistent with the comprehensive plan and establishes that there are practical difficulties in complying with the official control. In order to grant the requested variations, City Code identifies criteria which are to be considered practical difficulties. The applicant's request is reviewed below against those criteria.

1. *The variance request is in harmony with the general purpose and intent of the city code and consistent with the comprehensive plan.*

This area of the City is developed primarily with single family homes. Allowing the porch addition on the back of the home would be in harmony with the general purpose and intent of the comp plan which is a single family detached housing neighborhood. The addition would be kept in line with the existing home, maintaining the setback that was approved for the house. The request meets the intent of the Arbor Pointe PUD ordinance.

2. *The property owner proposes to use the property in a reasonable manner not permitted by the zoning ordinance.*

The size of the home is not out of character for this area. One of the functions of a front yard setback is to maintain consistency of structure placement and aesthetic qualities from street view. Aesthetically the proposed location of the addition would fit in with the neighborhood as it is at the same setback as the existing home. The addition would allow the owner to use the property in a reasonable manner. In respect to the land use, impervious surface, other setbacks and code requirements the request is in harmony with the provisions in the zoning ordinance.

3. *The plight of the landowner is due to circumstances unique to the property not created by the landowner.*

The applicant's property is surrounded by three roads and the northwest portion of the property is angled to accommodate a sign for the development. The lot is located in the Arbor Pointe PUD which allows a 20 foot setback from local streets. The north property line along College Trail requires a 30 foot setback. The front of the home meets this setback but because of the configuration and angle of the north property line the back of the home is only 25 feet from the property line. The addition would be maintaining this 25 foot setback.

4. *The variance will not alter the essential character of the locality.*

Staff does not believe this variance would alter the essential character of the locality. Visually the impact from the street would not be altered. The addition would be over 30

feet from College Trail with some trees and a fence to provide screening. The porch would be constructed with siding that matches the existing house.

5. *Economic considerations alone do not constitute an undue hardship.*

Economic considerations do not appear to be a basis for this request.

### **ALTERNATIVES**

The Planning Commission has the following alternatives for the requested action:

**A. Approval** If the Planning Commission finds the setback variance to be acceptable, the Commission should recommend approval of the request with at least the following condition:

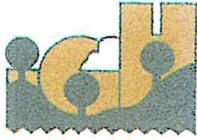
1. The site shall be developed in substantial conformance with the site plan on file with the Planning Department.

**B. Denial** If the Planning Commission does not favor the proposed variance, the above request should be recommended for denial. With a recommendation for denial, findings or the basis for the denial should be given.

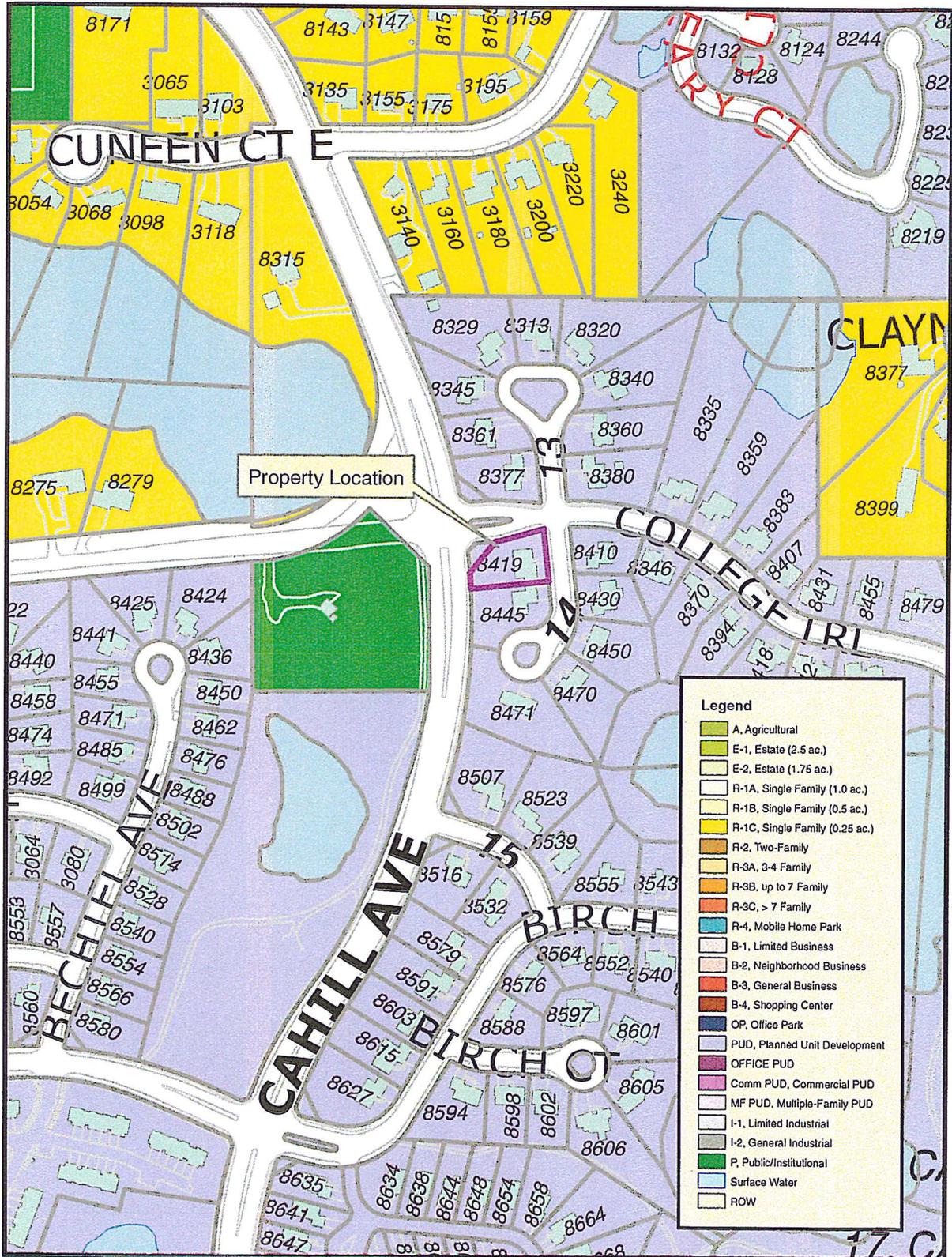
### **RECOMMENDATION**

The request is not out of character for the neighborhood and is consistent with the comprehensive plan. The porch addition is a typical improvement for a residential property and the five foot setback encroachment does not appear to have any adverse impacts on the neighboring properties. Based on the information in the preceding report and the one condition listed in Alternative A, staff is recommending approval of the setback variance.

Attachments:            Location Map  
                                 Site Plan  
                                 Applicant Narrative



# 8419 Calvin Court Case # 13-20V



Map not to scale

Exhibit A  
Zoning and Location Map

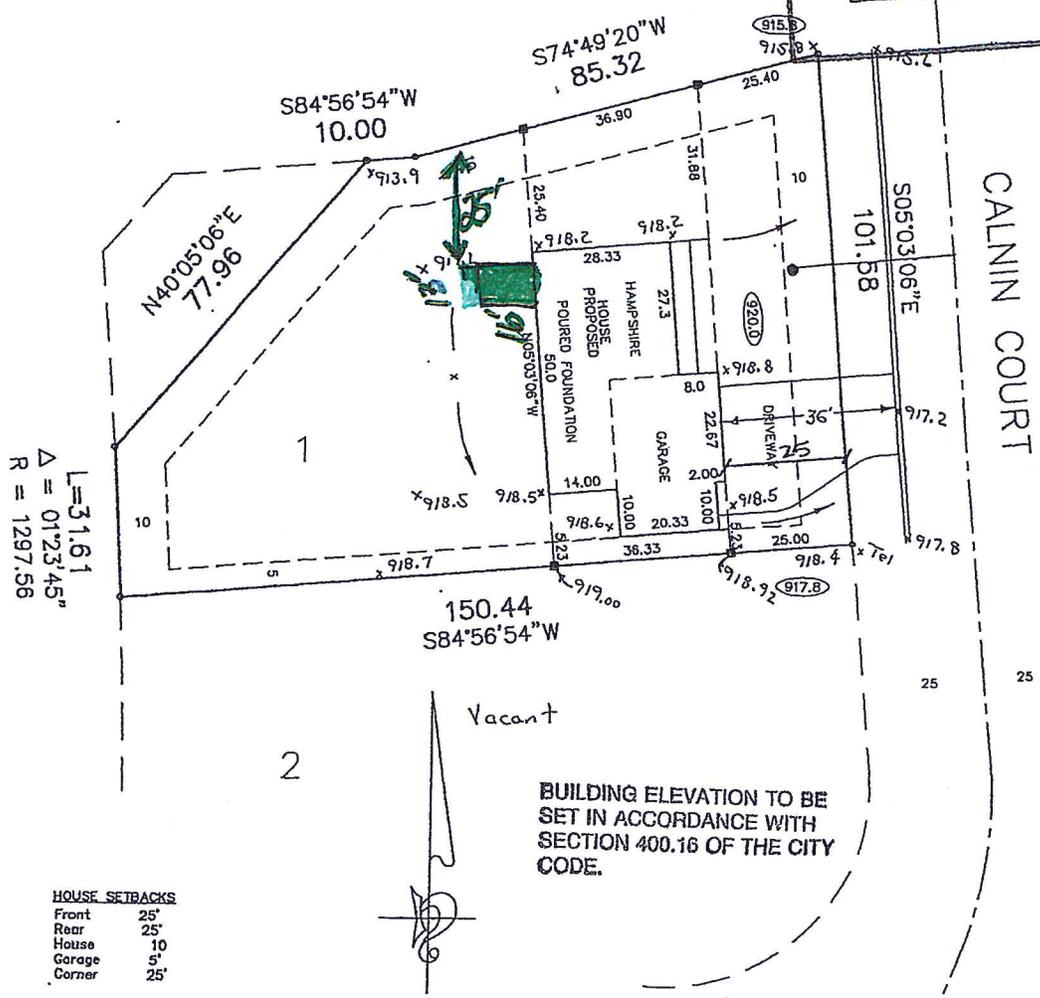
Certificate of Survey for: The Rottlund Company, Inc.

House Address: 8419 Calvin Court, Inver Grove Heights, MN  
 Model Name: Hampshire

*Building Perm Submitted*

**FILE COPY** COLLEGE TRAIL

**RECEIVED**  
 MAY - 7 2013



$L = 31.61$   
 $\Delta = 01^{\circ}23'45''$   
 $R = 1297.56$

BUILDING ELEVATION TO BE SET IN ACCORDANCE WITH SECTION 400.16 OF THE CITY CODE.

**HOUSE SETBACKS**

Front	25'
Rear	25'
House	10'
Garage	5'
Corner	25'

NOTE: CONTRACTOR MUST VERIFY ALL DIMENSIONS AND DRIVEWAY DESIGN

- x 900.0 Denotes Existing Elevation
- x (900.0) Denotes Proposed Elevation
- Denotes Drainage & Utility Easement
- Denotes Drainage Flow Direction
- Denotes Monument
- Denotes Offset Hub

**PROPOSED HOUSE ELEVATION**  
 Lowest Floor Elevation: 912.55  
 Top of Block Elevation: 920.66  
 Garage Slab Elevation: 920.33

Bearings shown are assumed

**LOT 1, BLOCK 3 BIRCHWOOD PONDS N.**

DAKOTA COUNTY, MINNESOTA

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am duly Registered Land Surveyor under the laws of the State of Minnesota. Dated this 5TH day of January A.D. 19 93.

Scale: 1 inch = 30 feet

*Terrence E. Rottlund*  
 ROBERT B. SIKICH L.S. REG. NO. 14891

**Request for Variance from Ordinance No 789** (30 foot set back requirement on College Trail) for Renee and Jim Von Berge, owners of the property located at 8419 Calvin Court, Inver Grove Heights, MN 55076.

To the Planning Commission and the City Council:

Our Builder, MJS Construction and Remodeling LLC, submitted a request for a building permit for a three season porch to be added onto the back of our house. This porch was to be located in line with our house and no further out than the house exist. There are multiple circumstances that are causing unique conditions to our property that would not affect other property owners that were trying to put this addition on.

We have a corner lot. Based on this, we have a set back in the front of our house that is a 20 foot set back. We also have College trail on a side of our house, which not only has a set back, but a 30 foot set back. The way our lot is designed with the road, the lot curves with the road and this set back significantly affects our back yard. In fact, it comes into our backyard past the house. We have a monument from Arbor Point in the corner of our lot and we have a 40 foot set back at the back of our lot from Cahill Court.

Our goal is to improve the value of our house and our enjoyment of our house by adding a three season cedar porch off the kitchen of our house in our backyard. This addition would be placed inside TWO fences, one of which is in place and maintained by the Arbor Point Home Owner's Association. Our addition would be no farther out than the house currently is. It will actually be a foot further from College Trail. We feel that our addition and proposed use is reasonable and is not in a manner that the zoning ordinance is trying to prohibit. The set back regulations affecting our lot are prohibitive to our enjoyment of our property, and thus we are having practical difficulties in complying with the zoning ordinance. We request this variance be granted as our addition is in the spirit and intent of the City Code and Comprehensive Plan.

Property owner across the street:

Diane and Brian Anderson  
8410 Calvin Court, Inver Grove Heights, MN  
651-457-5921

Property owners adjacent to our lot:

Scot Brady and Dan Anlexander  
8445 Calvin Court, Inver Grove Heights, MN

Thank you for your consideration.

Sincerely

Renee and Jim Von Berge

**P L A N N I N G   R E P O R T**  
**C I T Y   O F   I N V E R   G R O V E   H E I G H T S**

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**REPORT DATE:** May 23, 2013

**CASE NO:** 13-16SZPC

**APPLICANT:** Dakota County CDA

**REQUEST:** Comp Plan Amendment, Rezoning, Final Plat, Conditional Use Permit, Preliminary and Final PUD Development Plan approval and Variance

**HEARING DATE:** June 4, 2013

**LOCATION:** Corner of Cahill Avenue and Cheney Trail

**COMPREHENSIVE PLAN:** O, Office

**ZONING:** Arbor Pointe PUD/R&D, Research and Development

**REVIEWING DIVISIONS:** Planning  
Engineering  
Fire Marshall

**PREPARED BY:** Allan Hunting  
City Planner

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**BACKGROUND**

The applicant has submitted an application to construct a 66 unit senior housing development on the vacant parcel on the east side of Cahill, across from Wal-Mart. The project consists of a one building, three story senior housing complex consisting of one and two bedroom apartments. The project would provide affordable units to those 55 and over who would qualify under the CDA's program. The project would provide for 66 underground parking spaces and 33 surface stalls. Access would be via Cahill Avenue.

The specific applications being requested are:

1. Comprehensive Plan Amendment to change the land use designation from O, Office to MDR, Medium Density Residential.
2. Amendment to the Arbor Pointe PUD to change the land use of the property from R&D, Research and Development to Medium Density Residential - R-III, approximately 6-12 units/acre.
3. Final Plat approval for a one lot subdivision to be known as Arbor Crest 2<sup>nd</sup> Addition.
4. Preliminary and Final PUD Development Plan for a 66 unit senior housing development.
5. Conditional Use Permit for a 66 unit senior housing development.
6. Variance from the minimum landscape standard.

## EVALUATION OF THE REQUEST

The following land uses, zoning districts and comprehensive plan designations surround the subject property:

North - Concord Crossroads strip center; zoned LNB; guided NC.

East - Arbor Crest residential neighborhood; zoned Low Density; guided LDR, Low Density Residential.

West - Wal-Mart; zoned CSC, Commercial; guided RC, Regional Commercial.

South - Large lot residential; zoned A, Agricultural; guided CC, Community Commercial, LDR.

History. The Arbor Pointe PUD was originally approved in 1989 as a 450 acre mixed use planned unit development. The mix of uses included residential development of different densities and product type, small and large scale retail, a hotel/conference center, golf course, a large parks and trails plan, office and some civic buildings. Grading and road construction began in 1992 and the first housing developments began construction in 1994. Construction of the residential portions of the development continued steadily throughout the 90's and the golf course and parks and trails were also developed during this same time period. Commercial construction didn't begin until 1999. During that same time period, the Council changed the land use plan, removing the hotel designation for additional retail. Over the years, there have been a number of changes to the original plan due to changes in market demand and needs of the City and developer.

The subject site has been designated R&D, Research and Development since the inception of the first Arbor Pointe Plan. There have been two development proposals that have included this parcel. The first was the Wal-Mart proposal which included moving Cahill to the east and retaining the balance of the subject lot as open space. The Wal-Mart plan was subsequently changed and the final approval did not include this parcel. The second proposal was for an office/medical facility development. That plan was approved in 2006 but the developer was unable to find enough parties interested in leasing space and the project was ultimately scrapped.

## COMPREHENSIVE PLAN

The current designation of the area in question is O, Office. The project as proposed has an overall density of 11.6 units/acre. This density would require a comprehensive plan change to MDR, Medium Density Residential, 6-12 units/acre. The comprehensive plan categorizes the MDR category as:

“Medium density residential accommodates somewhat higher residential densities ranging from 6-12 units per net acre. Uses in this classification include higher density townhome developments and apartments, all with full public utility service.”

The site is surrounded by a mix of different uses. Multiple family would be a typical land use that is located next to or near commercial and many times do front on streets that will have higher traffic generation.

The bigger question is addressing development of this parcel. As stated above, there have been two other applications that contained this parcel, but neither resulted in development. The parcel has remained undeveloped since the southern portion of Arbor Pointe began developing around 1999. There have been a number of changes to the original Arbor Pointe master plan over the years that addressed current trends in development and addressed areas where the original plan identified uses that just did not pan out. Changing the land use designation in this instance would not be an isolated case in Arbor Pointe.

Just recently, the City Council approved a trailer sales lot on a parcel just south of here that has also sat vacant for a number of years. Part of Council's, and Planning Commissions comments during the review of that request was that it is time to develop some of these empty parcels and maybe the current land use designation needs to be looked at.

Adding additional residents to the area would provide more customers for the businesses. Staff believes a senior housing project would be compatible with the area and would support the land use change designation.

The comprehensive plan still needs to go through the Met Council review process. Any city approvals are subject to their review and approval.

#### ORDINANCE AMENDMENT/REZONING

The property is governed by the Arbor Pointe Planned Unit Development. It was approved with a master land use plan and ordinance. Each area was zoned a particular land use based on the plan. In this case, this parcel has been designated R&D since the PUD was approved in 1992. Any change to a land use requires an amendment to the Arbor Pointe Ordinance. In this case, the applicant is requesting the land use be changed to Medium Density Residential.

In reviewing the request, staff makes the following comments:

- The additional residential units create more "roof tops" which could be beneficial to all commercial in Arbor Pointe by providing more residents and more potential retail customers.
- The property has been on the market since 1999 with one development application presenting a land use consistent with the current zoning (medical office) and one that would have utilized the outlot as open space.

- Developing the site with residential units could potentially work better with the existing terrain. There would be less grading along the east property line (abutting the backyards of the existing houses) and the existing knoll would remain.
- A residential use would be appropriate abutting the existing single family. The retail users to the north are not high intensity and, as such, would not have a negative impact to this use. The site faces the back side of Wal-Mart so it is not subjected directly to the store front, parking lot lighting or customer traffic. This type of use is a typical transitional use from commercial to multiple family residential to single family residential.
- Traffic generation from a senior housing project would be less than that generated by an office or medical office complex.

#### FINAL PLAT AND PUD DEVELOPMENT PLAN

Final Plat. The final plat is just a replat of outlot C into one lot. Subdivision Code requires perimeter easements. In this case, a 10 foot drainage and utility easement is required along the east boundary. The plat must be revised to show this easement.

Engineering has noted a regional item to address is the potential need for traffic review at the intersection at Cheney and Cahill Avenues. The CDA Project, Absolute Trail, Short Dance Studio and the pending development of the Jean Ades site will increase traffic at the intersection. We also know that the MnDOT project building the East Frontage Road has also added traffic to this location. In the past there was some concern about turning movements also. The division will be reviewing the history and projections to see if additional study is needed at the intersection as Cahill Ave becomes the east frontage Road for TH 52 . As a result, Engineering is recommending an additional 15 feet of right-of-way be dedicated so there is room for any future possible road improvements. This would increase the total width from 60 feet to 75 feet. The request for additional right-of-way does not result in any setback issues or redesign of the project. All required setbacks would still be met.

Overall PUD Density. Arbor Pointe was approved with a maximum density of 1250 residential units. A total of 1077 units were ultimately approved in all the residential units. Adding the additional 66 units would bring the total to 1143, which is below the maximum allowed.

Setback Standards. The building and parking lot meet all perimeter setbacks.

Building Coverage/Impervious Surface. Maximum impervious surface allowed in the R-III is 60%. The project as designed would contain 55,620 square feet of impervious surface, or 22% overall.

Building Height. The proposed buildings would be approximately 34 feet high at midpoint of the roofline. Maximum building height is 35 feet measured at midpoint of roofline. Buildings comply with height standard.

Parking. The Zoning Ordinance has a parking provision for housing developments for the elderly which requires 1.5 spaces per unit. The CDA is proposing 66 underground units and 33 surface spaces for a total of 99 spaces. The project as proposed meets parking standards. The site plan shows two locations for future proof of parking should the project need additional.

Street, Traffic and Circulation. The project is proposed with three curb cuts on to Cahill. No access points are proposed on to Cheney Trail. There are no curb opening conflicts for any openings on the west side of Cahill. The City Engineer has reviewed the plan and finds the access spacing acceptable.

Landscaping. The Arbor Pointe PUD Ordinance requires a minimum number of over story and ornamental trees based on the number of units. A total of one over story and one ornamental tree are required for each unit. In this case, a total of 66 over story and 66 ornamental trees are required. The proposed landscape plan shows a total of 48 over story and equivalent of 36 ornamental trees. The plan is short of the landscape standard identified in the Arbor Pointe Design Manual. Flexibility from the regulations in the design manual is to be processed the same as a variance. The variance process is addressed later in this report.

Architecture. The proposed building would consist of a 3-story 66 unit building in a “T” shape. The exterior would consist of lap siding and brick throughout. The roofline is broken up with multiple gables and overall building height would be 34 feet at the roof midpoint.

Parks and Trails. The park dedication for the plat has been fulfilled previously and no further park dedication or contribution is required for this plat.

The Arbor Pointe Master Plan illustrates a trail to be built along the entire east side of Cahill Avenue. The first segment of the trail was installed to Cheney Trail by the developer of Concord Crossroads. The plans provide for the remaining segment of the trail (8 foot wide bituminous) along the entire frontage along Cahill

Rooftop Equipment. The buildings will not have roof top equipment since they are designed with pitched roofs. Large scale ground mechanical equipment must still be screened with adequate landscape material.

Parking Lot and Building Lighting. The site plan identifies 6 light poles along the outside boundary of the parking lot. All parking lot and building lighting must be a shoe-box style with flat lens. The applicant must provide additional information on the light fixtures prior to issuance of any permits.

Grading and Drainage. Grading, drainage, and utility plans have been submitted for review. The Engineering Department has completed a staff review of the project and finds the

plans acceptable subject to the comments listed in the memo dated 5/28/13 from the City Engineer.

Development Contract. A development contract would be required with this development to address specific improvements to the site, and storm water. Details of the development contract would be worked out prior to City Council review.

### VARIANCE

A variance is necessary to address the landscape plan shortage. The plan is short 18 over story and 29 ornamental trees.

City Code Title 11, Chapter 3. **Variations**, states that the City Council may grant variances when they are in harmony with the general purposes and intent of the zoning ordinance and consistent with the comprehensive plan and establishes that there are practical difficulties in complying with the official control. In order to grant the requested variances, City Code identifies criteria which are to be considered practical difficulties. The applicant's request is reviewed below against those criteria.

1. *The variance request is in harmony with the general purpose and intent of the city code and consistent with the comprehensive plan.*

The general intent of this standard is to limit the precedent that could be set if the variance was granted. The Arbor Pointe Planned Unit Development was established with a design manual that was intended to provide a high quality development and in some areas require greater standards than the regular zoning ordinance. In this instance, landscaping requirements are double the zoning code standard in an effort to provide each development phase with a significant amount of trees and tree types. The developer is not removing any existing trees on site and saving those on the knoll.

2. *The property owner proposes to use the property in a reasonable manner not permitted by the zoning ordinance.*

Provided the ordinance amendment is approved, the property would be used in a reasonable manner. The applicant has indicated they were having difficulty achieving the standard without overplanting the site.

3. *The plight of the landowner is due to circumstances unique to the property not created by the landowner.*

Staff believes there is enough room on site to accomplish most if not all of the planting requirements. There may need to be different types of plantings proposed, maybe more coniferous that can be placed closer together. There is unused land on the north side of the knoll that could be used to plant more trees.

4. *The variance will not alter the essential character of the locality.*

The request doesn't have a direct impact on the essential character of the locality, it's just a question of whether there is enough room on the property to plant the required number of trees.

5. *Economic considerations alone do not constitute an undue hardship.*

Economic considerations do not appear to be a basis for this request.

## **ALTERNATIVES**

The Planning Commission has the following actions available on the following requests:

- A. **Approval.** If the Planning Commission finds the application to be acceptable, the following action should be taken:
- o Approval of the Comprehensive Plan Amendment to change the land use designation from O, Office to MDR, Medium Density Residential subject to the following conditions:
    1. The plan shall not become effective until all approvals have been granted by the Metropolitan Council and the City.
    2. The Metropolitan Council shall not require any significant modifications to the comprehensive plan amendment.
    3. The Metropolitan Council shall not make a finding that the comprehensive plan amendment has a substantial impact or contain a substantial departure from any metropolitan systems plan.
  - o Approval of An **Ordinance Amendment** to the Arbor Pointe PUD Ordinance #789 to change the land use designation of the property from R&D, Research and Development to Medium Density Residential, R-III.
  - o Approval of the **Final Plat for a 1 lot subdivision, and Preliminary and Final PUD Development Plan and Conditional Use Permit** for a 66 unit senior housing development subject to the following conditions:
    1. The final plat and accompanying site plans shall be in substantial conformance with the following plans on file with the Planning Department except as may be modified by the conditions below.

Final Plat	No date
Site Plan	dated 5/24/13
Grading and Erosion Control Plan	dated 5/24/13
Utility Plan	dated 5/24/13
Landscape Plan	dated 5/23/13
Elevation Plans (3 sheets)	dated 5/6/13

2. Drainage and utility easements shall be provided on the final plat as required by the Director of Public Works.
  3. An additional 15 feet of right-of-way shall be dedicated along Cahill Avenue. The plat shall be modified to reflect this change.
  4. A development contract shall be required to be entered into between the City and the developer addressing the improvements on the site. The development contract shall be approved by the City Council prior to release of the final plat.
  5. Any large scale ground mounted mechanical equipment shall be screened from view with adequate landscape material.
  6. All parking lot and building lighting on site shall be a down cast “shoe-box” style or cut-off style and the bulb shall not visible from property lines.
  7. The landscape plan shall be modified to incorporate the required plantings per the design manual.
  8. All plans shall be subject to the review and approval of the Fire Marshal.
  9. All grading and utility plans, or modifications thereof, must be approved by the City Engineer. All comments found on memo from City Engineer dated 5/28/13 must be incorporated into the plans prior to any work commencing on the site.
- o Approval of a **Variance** to allow a landscape plan with fewer trees and required by the Arbor Pointe Design Manual as depicted on the Landscape Plan dated 5/23/13.
- B. Denial.** If the Planning Commission does not favor the proposed applications or portions thereof, the above request or requests should be recommended for denial. With a recommendation for denial, findings or the basis for the denial should be given.

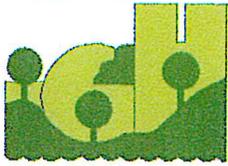
## RECOMMENDATION

This request raises the question again to Planning Commission and City Council what to do with this parcel that has remained vacant for some time. Allowing the senior housing project would be a low intensity, low traffic generating use and would be a low impact use abutting the residential along Cheney Trail. The additional residents in the area could provide some additional customers for the commercial area that has been struggling. Leaving the zoning as is, the site may remain vacant and underutilized for some time.

The City Council just recently made a code interpretation on a general retail use that will allow development of a commercial zoned property, just south of this site. This site also has remained vacant for some time.

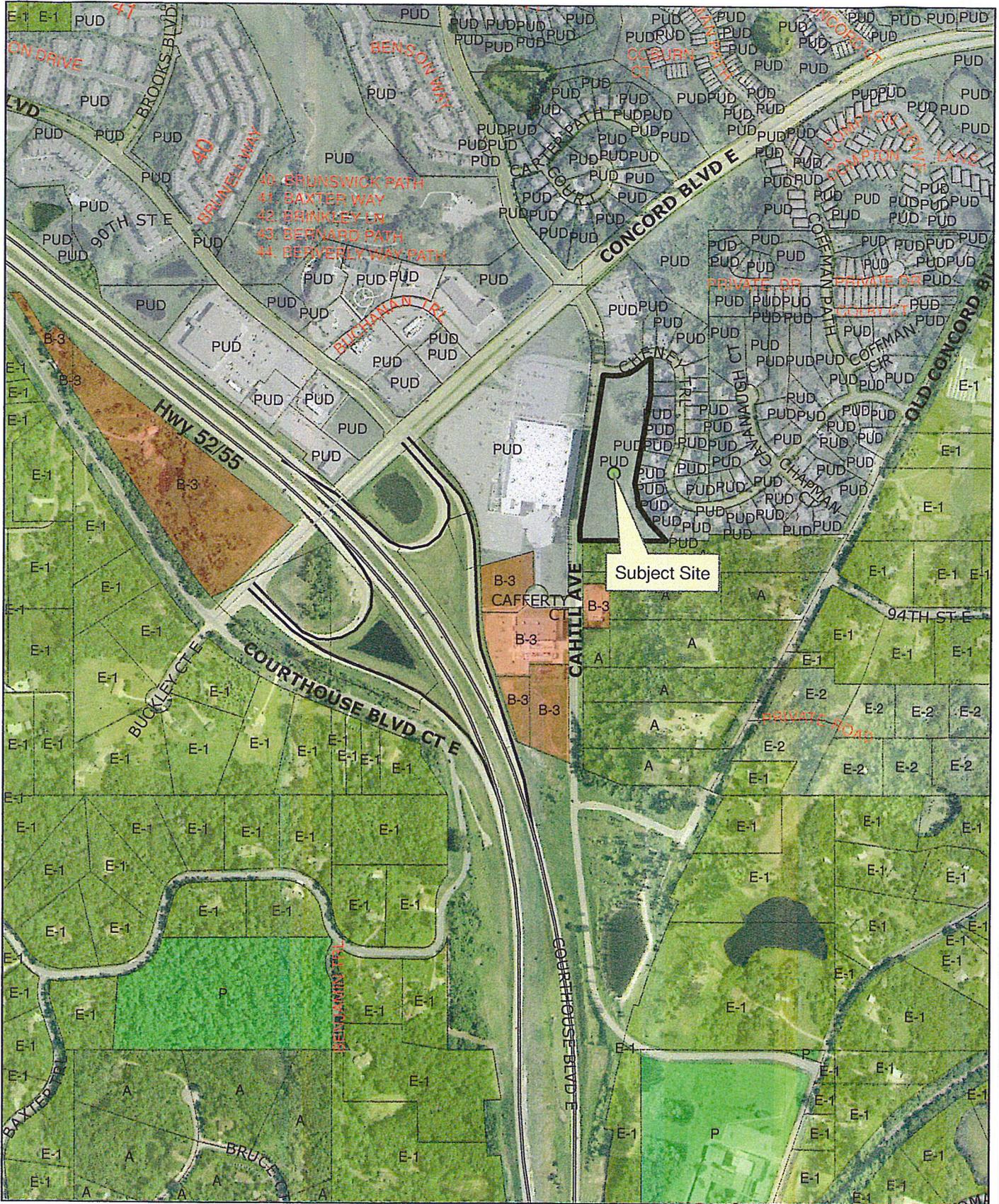
Staff believes the proposed project would be a low intensity use and would be a good fit for the area. If Planning Commission and Council support the comprehensive plan amendment and ordinance zoning change, staff would recommend approval of the PUD development plan, Conditional Use Permit and Final Plat with the conditions listed. Staff does not support a variance from the planting requirements as it appears there is room for the required planting.

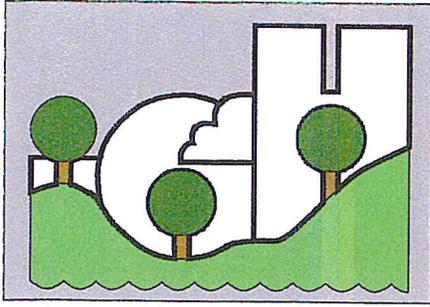
Attachments: Location Map  
Arbor Pointe Zoning Map  
Comprehensive Plan Map  
Applicant Narrative  
Site Plan  
Final Plat  
Grading and Drainage Plan  
Landscape Plan  
Building Elevations (3 sheets)



# Location/Zoning Map

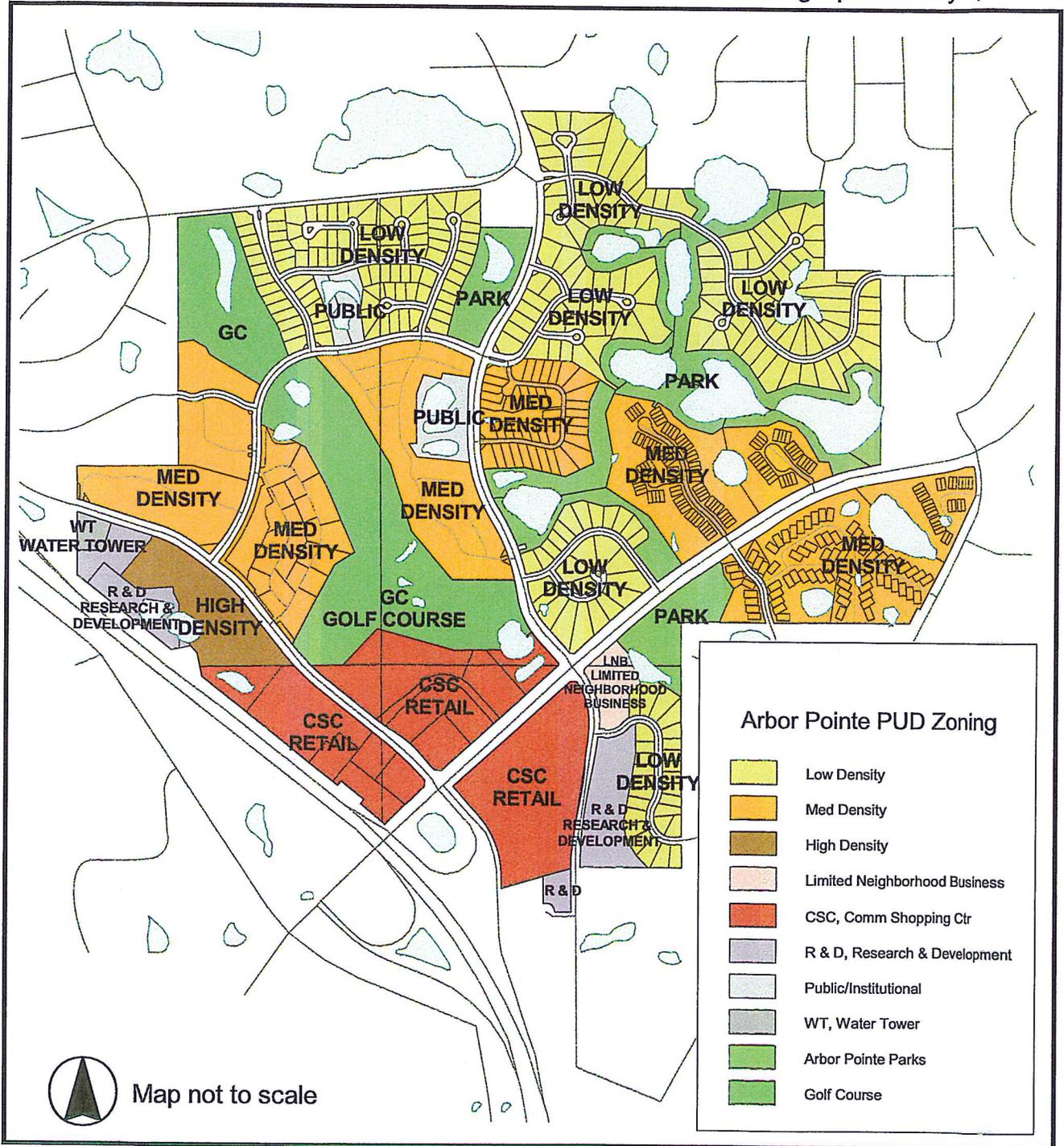
## Case No. 13-16SZPC





# Arbor Pointe PUD Zoning Map

Latest Zoning Update: May 9, 2005



**Arbor Pointe PUD Zoning**

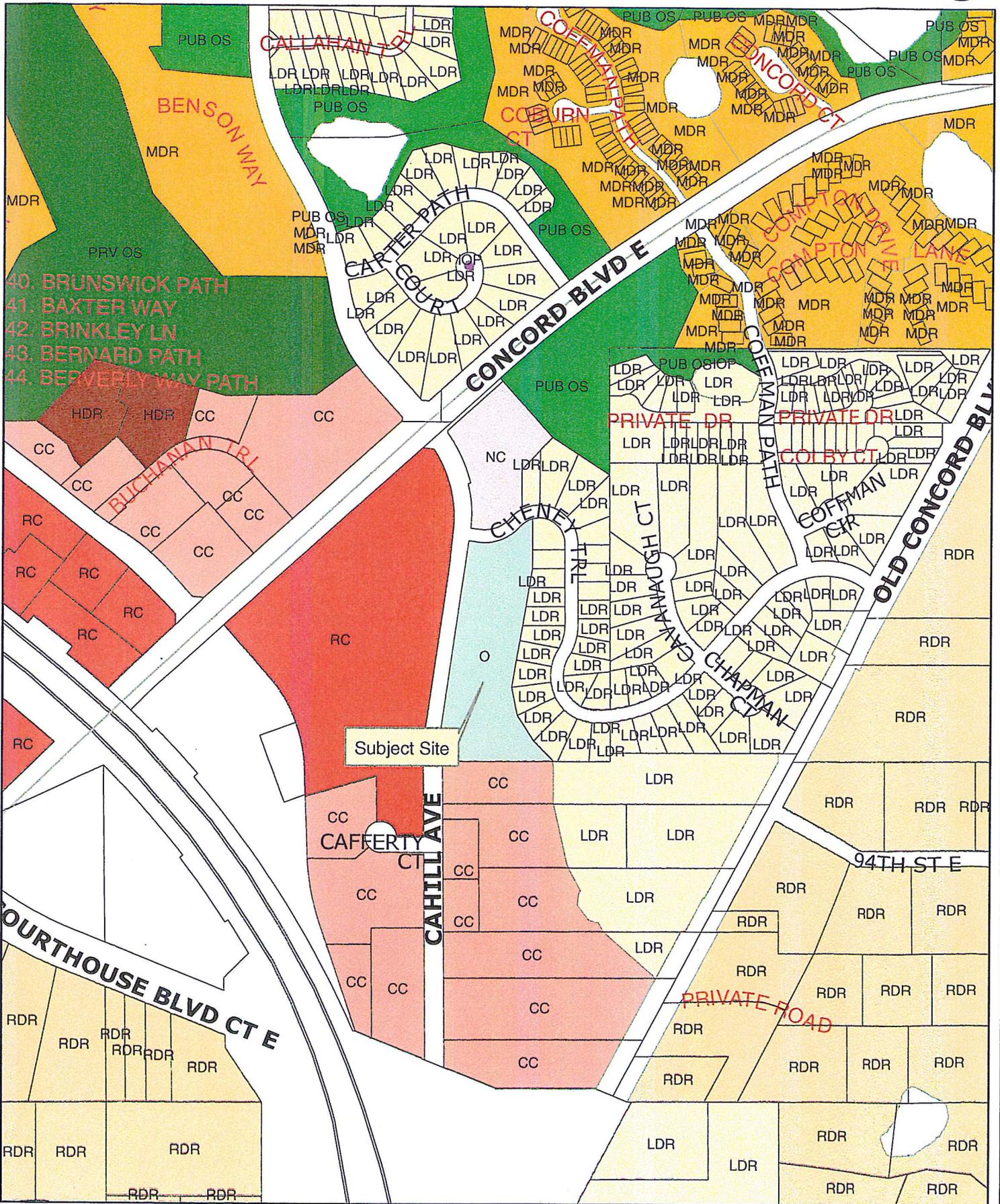
	Low Density
	Med Density
	High Density
	Limited Neighborhood Business
	CSC, Comm Shopping Ctr
	R & D, Research & Development
	Public/Institutional
	WT, Water Tower
	Arbor Pointe Parks
	Golf Course

Map not to scale



# Comprehensive Plan Map

## Case No. 13-18SC



## Arbor Pointe Planning Application Narrative

This submittal requests a Comprehensive Plan Amendment, Rezoning, Conditional Use Permit and Final Plat for a site located at the southeast quadrant of Cahill Avenue and Cheney Trail. The site is currently Comp Guided Office and is zoned Research and Development. The application requests a Conditional Use Permit with a Comp Plan reclassification to multifamily use under High Density Residential and a rezoning to R-IV under the Arbor Pointe PUD. The Conditional Use Permit will allow the site to be developed as a senior housing residential community. Since 1999, Rottlund Company, Inc. had been marketing the property as an office use and was unsuccessful.

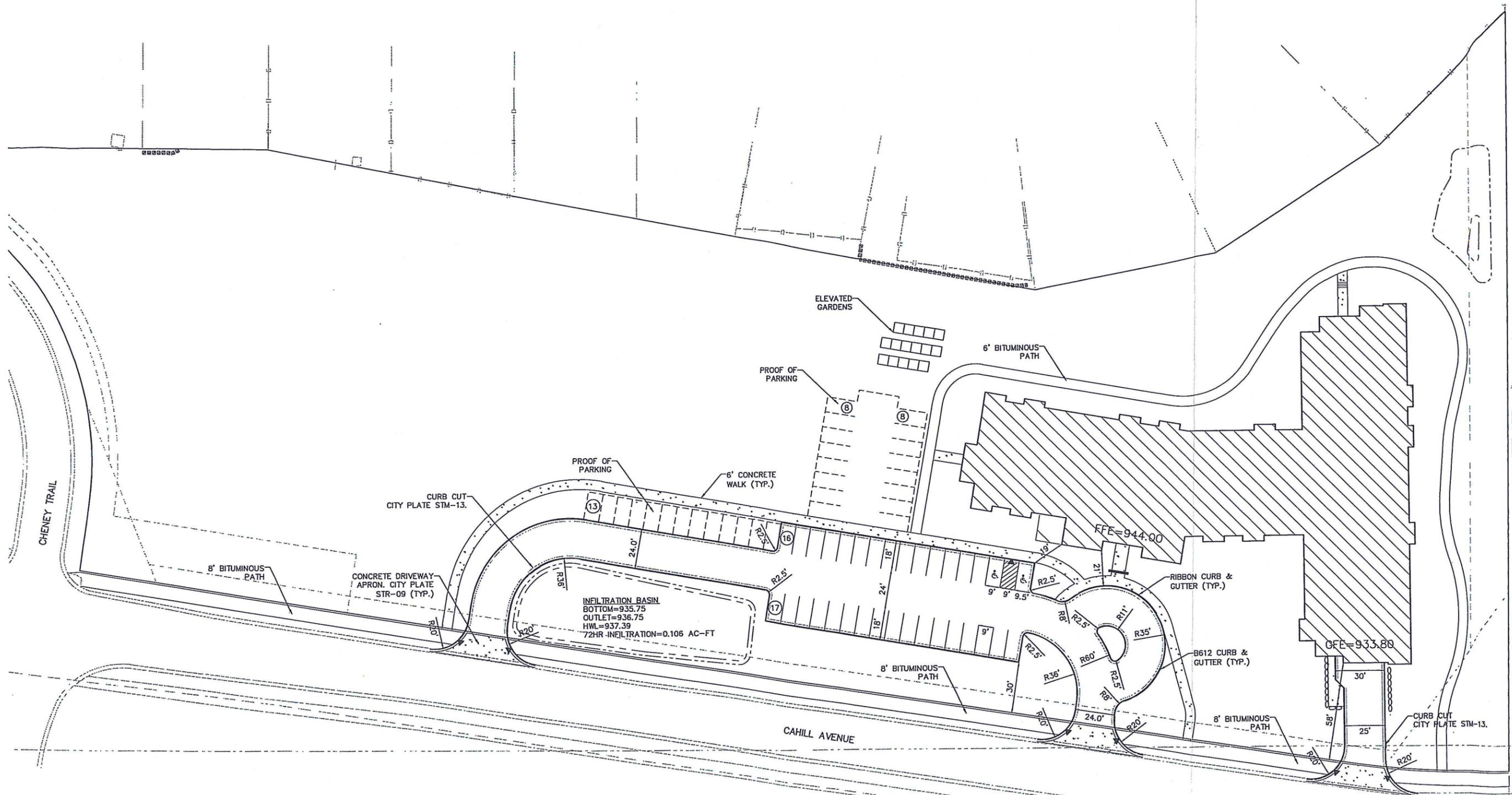
The proposed development is for a 3-story, 66 unit senior housing development consisting of one and two bedroom apartments. The building meets all requirements for R-IV zoning except for the 2:1 dwelling unit parking requirements. Our proposed design has 66 garage parking stalls and 36 surface parking places which, based on our 26 existing senior apartment buildings, historic data shows that the 1.5:1 dwelling unit parking is more than adequate to serve residents and visitors. In lieu of providing full parking at this time, we request that the city approve a 'proof of parking' area as identified on the site plan that can be developed should the city deem additional parking is needed in the future.

The property is currently platted as Outlot C Arbor Pointe Commons. This submittal requests that the property be replatted as Lot 1, Block 1 Arbor Crest 2<sup>nd</sup> Addition.

The Dakota County CDA began developing affordable senior housing developments in 1990. Since then, 26 developments have been completed providing 1,543 affordable rental apartments for adults aged 55+. These developments are located in Apple Valley, Burnsville, Eagan, Farmington, Hastings, Inver Grove Heights, Lakeville, Mendota Heights, Rosemount, South St. Paul, and West St. Paul. The developments have a variety of amenities that may include community room with kitchen, club room, sitting areas, library area, exercise room, laundry facilities, emergency call system and underground heated parking. The exterior of the building will be brick and painted, fiber-cement lap siding with asphalt shingles.

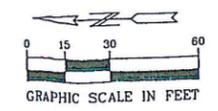
To qualify for these apartments, applicants must have good landlord rental histories, good credit references, and clean criminal histories. Currently, the maximum income a one person household is \$45,100 and \$51,550 for a two person household. Rents will be fixed and there will be six premium units available that are not income restricted. Currently fixed rents for the income restricted units are \$573 for a one-bedroom and \$711 for a two-bedroom unit. Rents for the premium units are \$725 for a one-bedroom unit and \$900 for a two-bedroom unit.

Currently the land is vacant. The surrounding uses include residential and commercial uses. The overall site is 5.7 acres. The building is positioned on the southern end of the site fronting Cahill Avenue. If approvals are granted, it is anticipated that construction will begin fall 2013 with completion fall 2014.



- CURB LEGEND**
- 08.32 = TOP OF CURB ELEVATION FOR B612 CURB
  - 07.82 = TOP OF CURB ELEVATION FOR RIBBON CURB
  - = B612 CURB & GUTTER
  - = RIBBON CURB & GUTTER
  - ▶ = PED. RAMP (MNDOT 7036F)

**IMPERVIOUS SURFACE CALCULATIONS**  
 Arbor Pointe PUD = 60% Max  
 Site Area = 248,323-sf  
 Max Allowable Impervious = 149,994-sf  
 Proposed Impervious = 55,620-sf



**PIONEERengineering**  
 CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS  
 2422 Enterprise Drive  
 Mendota Heights, MN 55120  
 (651) 681-1914  
 Fax: 681-9488  
 www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
 Name: Joseph L. Larson  
 Reg. No. 44628 Date 05-06-2013

Revisions:  
 1, 3-24-13 City Comments

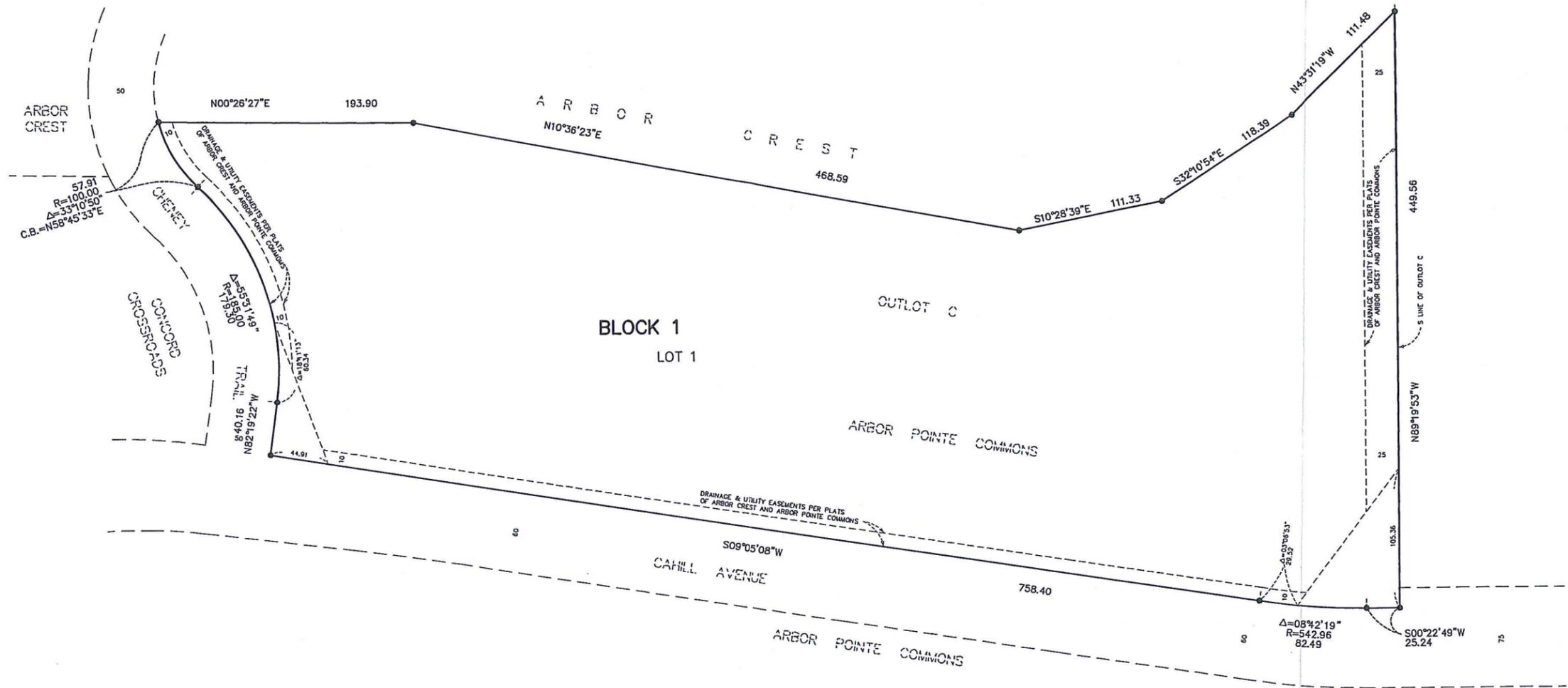
Date: 05-06-2013  
 Designed: JLL  
 Drawn: JLL

**SITE PLAN**

DAKOTA COUNTY COMMUNITY DEVELOPMENT AGENCY  
 1228 TOWN CENTRE DRIVE, EAGAN, MN 55123-1066

ARBOR CREST 2ND ADDITION  
 INVER GROVE HEIGHTS, MINNESOTA

# ARBOR CREST 2ND ADDITION



ARBOR CREST  
 $R=100.00$   
 $\Delta=33^{\circ}10'50''$   
 C.B.=N58°45'33\"E

CONCORD CROSSROADS  
 $\Delta=55^{\circ}11'56''$   
 $R=179.00$   
 TRAIL  
 $\Delta=22^{\circ}51'28''$   
 $R=840.16$   
 $\Delta=82^{\circ}51'22''$   
 $R=182.00$

BLOCK 1  
 LOT 1

ARBOR POINTE COMMONS

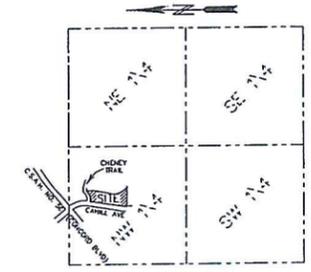
CAHILL AVENUE  
 $S09^{\circ}05'08''W$

ARBOR POINTE COMMONS

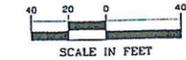
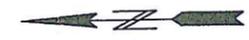
BEARINGS ARE BASED ON THE NORTH LINE OF OUTLOT A, STONEHAVEN 5TH ADDITION, WHICH IS ASSUMED TO HAVE A BEARING OF NORTH 89°37'50\" WEST.

NO MONUMENT SYMBOL SHOWN AT ANY STATUTE - REQUIRED - LOCATION, INDICATES A PLAT MONUMENT THAT WILL BE SET AND WHICH SHALL BE IN PLACE WITHIN ONE YEAR OF THE FILING OF THE PLAT. SAID MONUMENTS SHALL BE 1/2 INCH X 14 INCH IRON MONUMENTS MARKED BY LICENSE NUMBER 1982B.

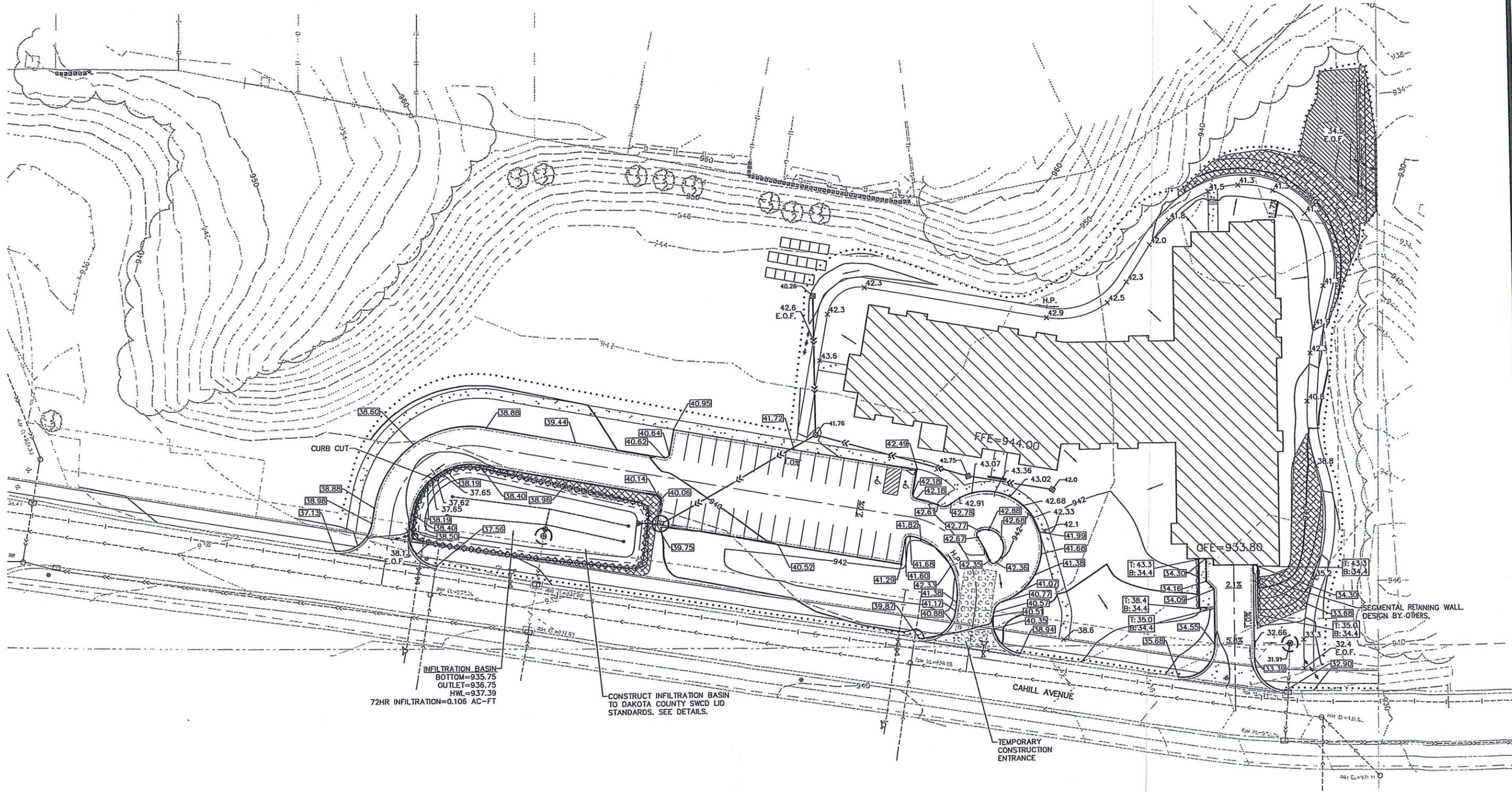
● DENOTES FOUND IRON MONUMENT.



SECTION 22, TWP. 27, RGE. 22  
 LOCATION MAP  
 NO SCALE



**PIONEER**engineering  
CIVIL ENGINEER LAND SURVEYOR LANDSCAPE ARCHITECT



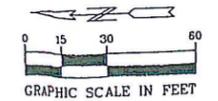
**LEGEND**

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- 08.32 = TOP OF CURB ELEVATION FOR B612 CURB
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- CATCH BASIN INLET PROTECTION TO BE INSTALLED WITH CATCH BASIN GRATE.
- CATCH BASIN INLET PROTECTION TO BE INSTALLED WITH CATCH BASIN GRATE.
- STRAW BIO ROLLS INSTALL WITHIN 7 DAYS OF GRADING COMPLETION OR BEFORE 1ST RAINFALL EVENT WHICHEVER IS FIRST

- ROCK CONSTRUCTION ENTRANCE INSTALL BEFORE START OF GRADING
- MNDOT CAT 2 EROSION CONTROL BLANKET. INSTALL WITHIN 7 DAYS OF GRADING COMPLETION OR BEFORE 1ST RAINFALL EVENT WHICHEVER IS FIRST
- WET PRAIRIE SEED MIX: MN SEED MIX 34-262

- PERIMETER EROSION CONTROL FENCE. INSTALL BEFORE START OF GRADING ADJUST AS NEEDED IN FIELD.
- SECONDARY EROSION CONTROL FENCE. TO BE INSTALLED 48 HOURS AFTER COMPLETION OF GRADING.
- ROCK BERM INSTALL WITHIN 7 DAYS OF GRADING COMPLETION OR BEFORE 1ST RAINFALL EVENT WHICHEVER IS FIRST



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I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota  
 Name: Joseph L. Larson  
 Reg. No. 44628 Date: 05-06-2013

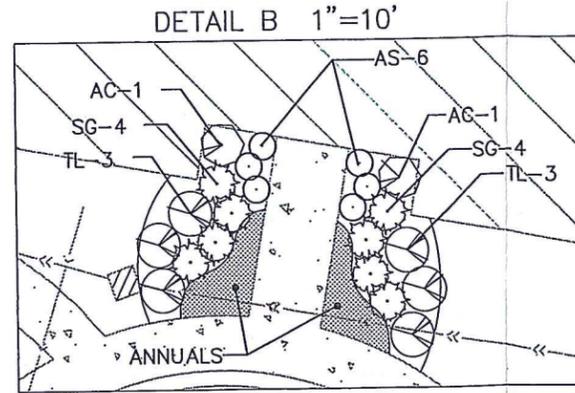
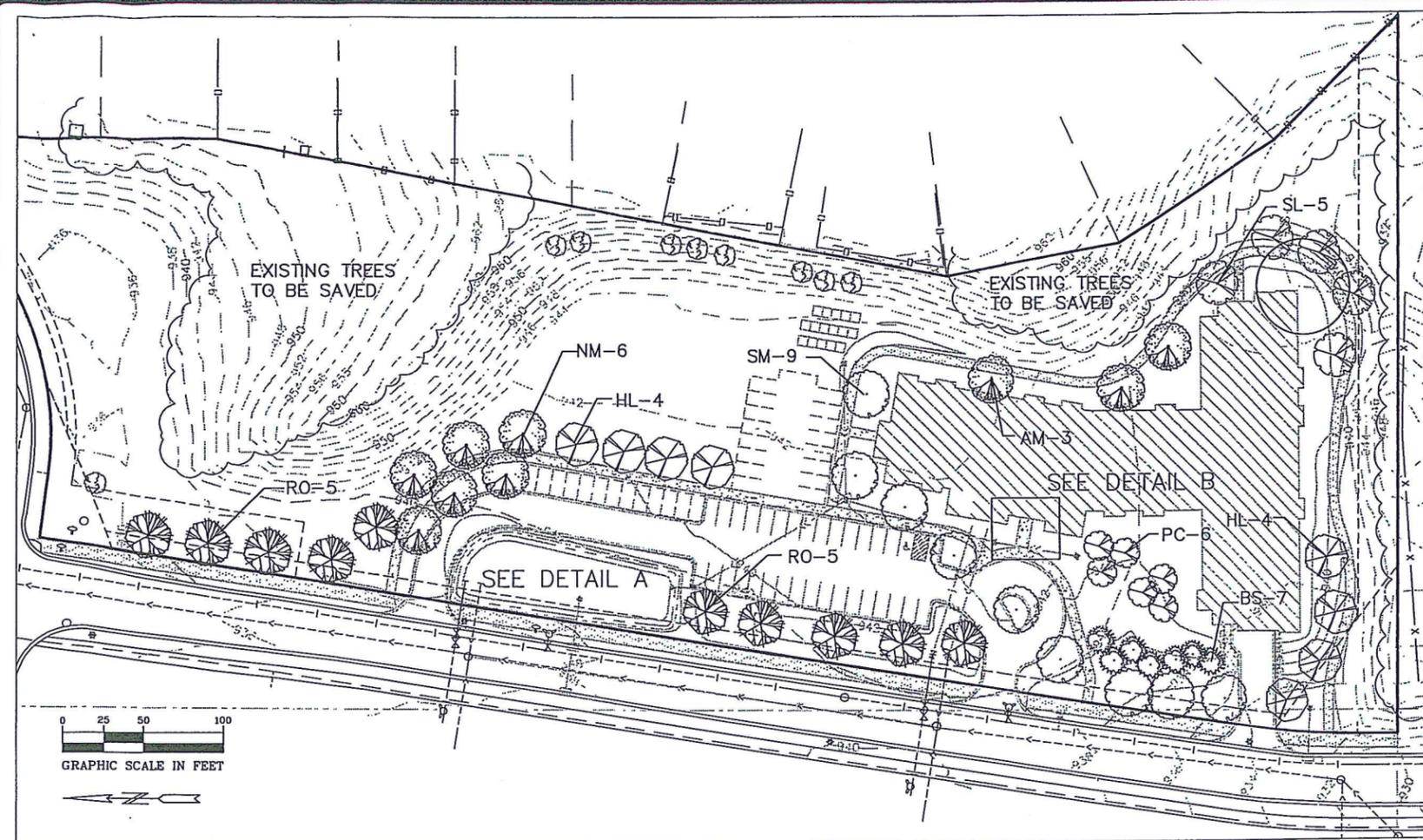
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**GRADING & EROSION CONTROL**

DAKOTA COUNTY COMMUNITY DEVELOPMENT AGENCY  
 1228 TOWN CENTRE DRIVE, EAGAN, MN 55123-1066

ARBOR CREST 2ND ADDITION  
 INVER GROVE HEIGHTS, MINNESOTA

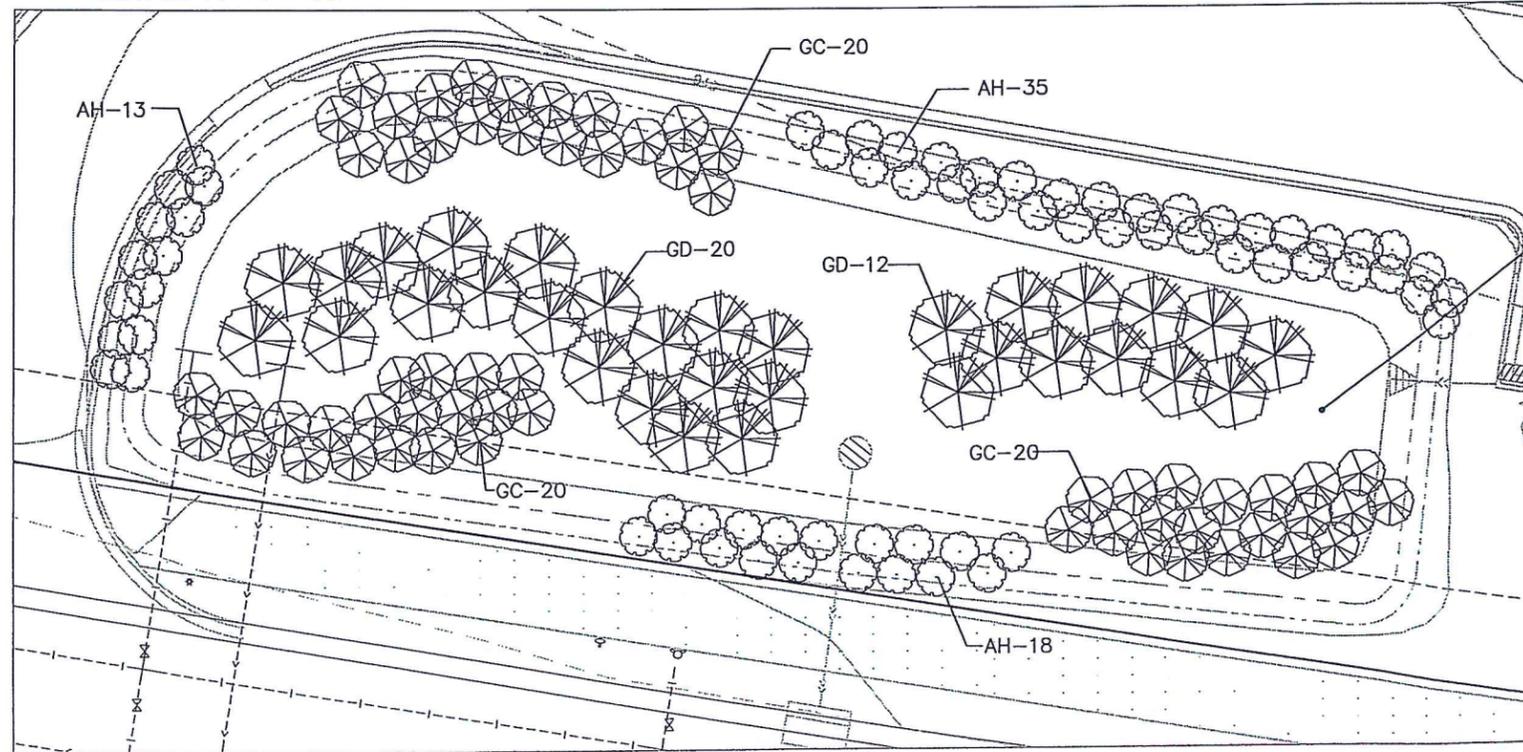
© 2013 Pioneer Engineering, P.A.



KEY	COMMON NAME/SCIENTIFIC NAME	ROOT	QUANTITY	SPECIAL INSTRUCTIONS
<b>OVERSTORY TREES</b>				
AM	AUTUMN BLAZE MAPLE/ACER X FREEMANII 'AUTUMN BLAZE'	3" B&B	3	
RO	RED OAK/QUERCUS RUBRUM	3" B&B	10	
HL	THORNLESS HONEYLOCUST/GLEDITSIA TRIACANTHOS INERMIS	3" B&B	8	
NM	NORTHWOODS MAPLE/ACER RUBRUM 'NORTHWOODS'	3" B&B	6	
SL	SENTRY LINDEN/TILIA AMERICANA 'SENTRY'	3" B&B	5	
SM	SIENNA GLEN MAPLE/ACER X FREEMANII 'SIENNA GLEN'	3" B&B	9	
<b>ORNAMENTAL TREES</b>				
PC	PRAIRIEFIRE CRAB/MALUS X 'PRAIRIEFIRE'	1.25" B&B	6	
<b>EVERGREEN TREES</b>				
BS	BLACK HILLS SPRUCE/PICEA GLAUCA VAR DENSATA	6" B&B	7	
<b>RAIN GARDEN SHRUBS</b>				
AH	ANNABELL HYDRANGEA/HYDRANGEA ARBORESCENS 'ANNABELL'	BR*	66	
GC	GLOSSY BLACK CHOKEBERRY/ARONIA MELANOCARPA	BR*	60	
GD	GRAY DOGWOOD/CORNUS RACEMOSA	BR*	32	
<b>FOUNDATION SHRUBS</b>				
AC	COMPACT AMERICAN CRANBERRY/VIBURNUM TRILOBUM 'COMPACTA'	#3 POT	2	
AG	ANTHONY WATERER SPIREA/SPIRAEA X BUMALDA 'A.W.'	#3 POT	6	
SG	SEAGREEN JUNIPER/JUNIPERUS CHINENSIS 'SEAGREEN'	#5 POT	8	
TL	TINKERBELL LILAC/SYRINGA BAILBELLE	#3 POT	6	

- NOTES:
- BR\*: BARE ROOT IF AVAILABLE. IF BARE ROOT IS UNAVAILABLE OR OUT OF SEASON, THEN SUBSTITUTE WITH THE SMALLEST CONTAINER AVAILABLE.
  - ANNUAL BEDS AT BUILDING ENTRANCE TO BE AMENDED WITH PLANTING SOIL TO A DEPTH OF 6". NO MULCH OR WEED BARRIER IN ANNUAL AREA.
  - ENTRANCE PLANTINGS TO BE MULCHED RIVER ROCK TO A DEPTH OF 3".
  - 6MM BLACK POLY SHEETING TO BE USED BELOW RIVER ROCK.
  - DISTURBED UPLAND AREAS TO BE SODDED AND IRRIGATED. IRRIGATION DESIGNED BY OTHERS.

DETAIL A 1"=10'

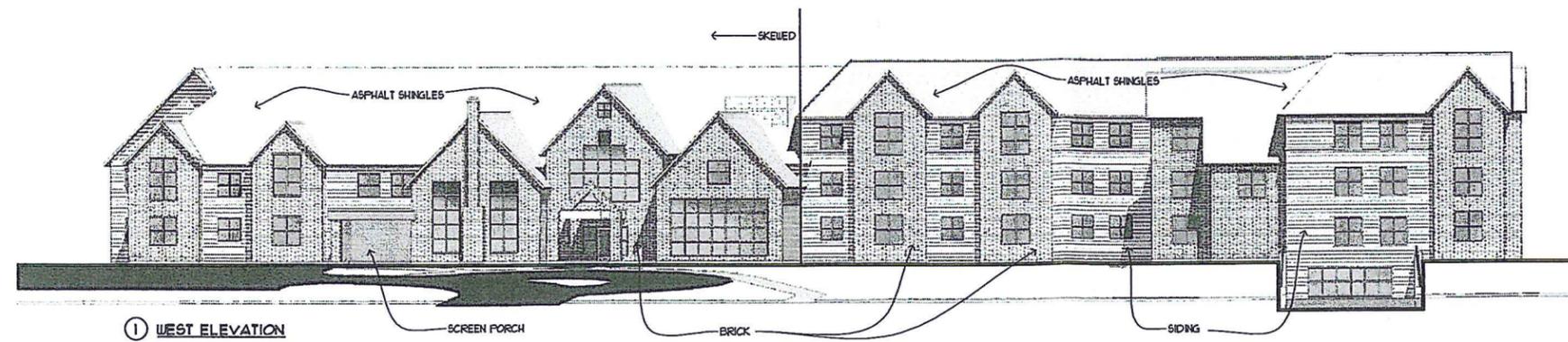


DRY SWALE/POND  
(STATE SEED MIX 33-262 FORMERLY W4)

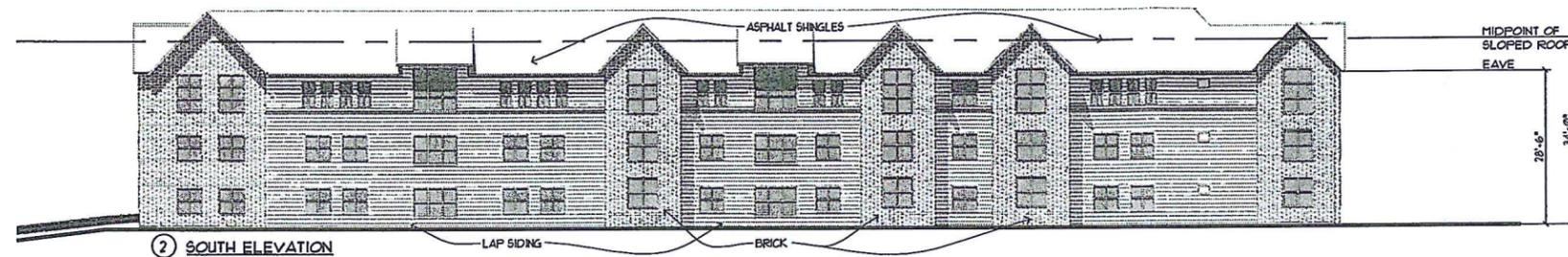
Common Name	Scientific Name	Rate (kg/ha)	Rate (lb/ac)	% of Mix (% by wt)	Seeds/ sq ft
big bluestem	<i>Andropogon gerardii</i>	1.68	1.50	3.40%	5.50
American slough grass	<i>Beckmannia sylvatica</i>	1.68	1.50	3.42%	27.80
fringed brome	<i>Bromus ciliatus</i>	1.68	1.50	3.42%	6.05
nodding wild rye	<i>Elymus canadensis</i>	4.48	4.00	8.09%	7.64
slender wheatgrass	<i>Elymus trichycaulus</i>	4.48	4.00	8.10%	10.15
Virginia wild rye	<i>Elymus virginicus</i>	2.80	2.50	5.67%	3.85
switchgrass	<i>Panicum virgatum</i>	0.45	0.40	0.91%	2.05
fowl bluegrass	<i>Poa palustris</i>	1.79	1.60	3.64%	76.50
Indian grass	<i>Sorghastrum nutans</i>	1.68	1.50	3.40%	8.60
Total Grasses		20.74	18.50	42.03%	145.94
marsh milkweed	<i>Asclepias incarnata</i>	0.07	0.06	0.13%	0.10
purple prairie clover	<i>Dalea purpurea</i>	0.10	0.09	0.21%	0.50
Canada tick trefoil	<i>Desmodium canadense</i>	0.10	0.09	0.21%	0.19
ox-eye	<i>Helopsis helianthoides</i>	0.10	0.09	0.20%	0.20
black-eyed susan	<i>Rudbeckia hirta</i>	0.08	0.07	0.17%	2.48
blue vervain	<i>Verbena hastata</i>	0.11	0.10	0.23%	3.50
Total Forbs		0.56	0.50	1.15%	6.98
Oats or winter wheat (see note at beginning of list for recommended dates)		28.02	25.00	58.82%	11.14
Total Cover Crop		28.02	25.00	58.82%	11.14
Totals		49.32	44.00	100.00%	164.06
Purpose: Temporarily flooded swales in agricultural settings					
Planting Area: Tallgrass Aspen Parklands, Prairie Parkland, and Eastern Broadleaf Forest Provinces. MinDOT Districts 2(west), 3B, 4, Metro, 6, 7 & 8.					

TYPE 3 MULCH APPLIED AT 1 TON PER ACRE (OR TYPE 2 BLANKET ON SLOPES)

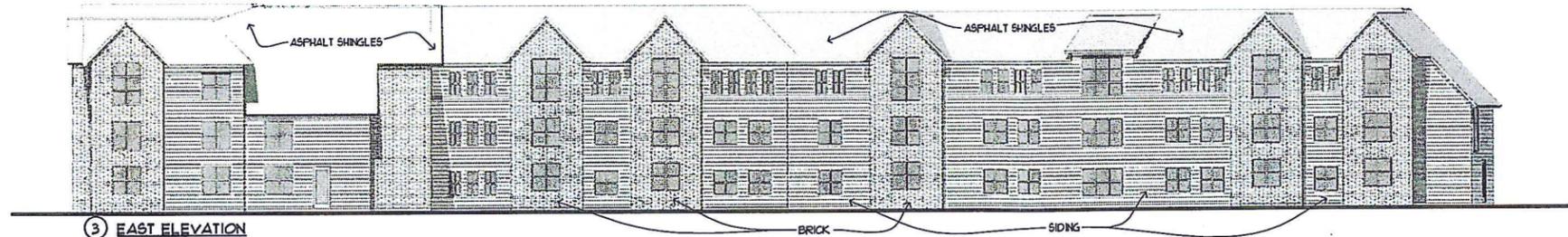
- 2-YEAR MAINTENANCE PLAN FOR INFILTRATION AREA
- YEAR 1-2
- MOWING SHOULD OCCUR AS NECESSARY THROUGHOUT THE GROWING SEASON FOR THE FIRST TWO SEASONS TO PREVENT NOXIOUS WEEDS FROM TAKING HOLD. THE FIRST YEAR MOWING SHOULD OCCUR EVERY THIRTY DAYS. THE SECOND YEAR MOWING SHOULD OCCUR ONCE BEFORE WEEDS SET THEIR SEEDS. THE MOWER DECK SHOULD BE 6-8" OFF THE GROUND.
  - WEEDS SHOULD BE HAND PULLED OR SPOT SPRAYED AS NECESSARY.
  - TYPE 2 BLANKET SHOULD BE USED ON SLOPES UNLESS THE AREAS ARE HYDRO SEEDING WITH A HEAVY TACKIFIER IN WHICH CASE NO BLANKET WILL BE NECESSARY.
  - IF THE AREA BECOMES SATURATED WITH ANY FREQUENCY, REED CANARY GRASS OR OTHER NOXIOUS WEEDS CAN BECOME A PROBLEM. SETHOXYDIM (OR EQUIVALENT) OR OTHER HERBICIDES WILL BE EFFECTIVE IN CONTROLLING REED CANARY GRASS AND OTHER NOXIOUS WEEDS WITHOUT HARMING SEDGES, RUSHES, AND FORBS.
  - TREES AND SHRUBS SHOULD ONLY BE PRUNED IN THE EVENT OF DAMAGED OR BROKEN BRANCHES.
  - INLETS MUST BE KEPT CLEAR OF DEBRIS.



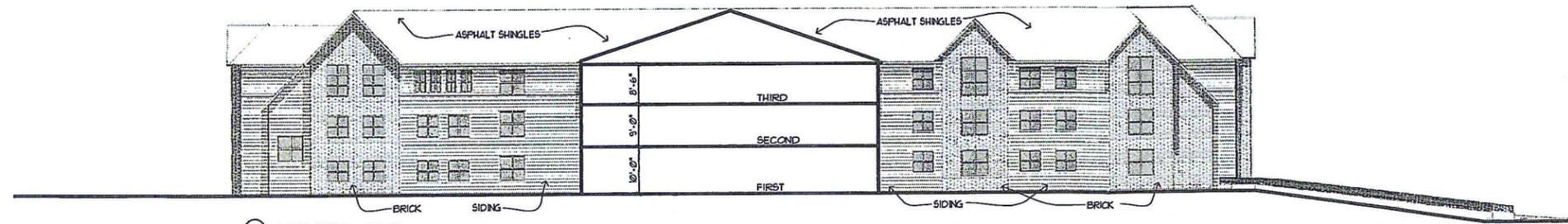
① WEST ELEVATION



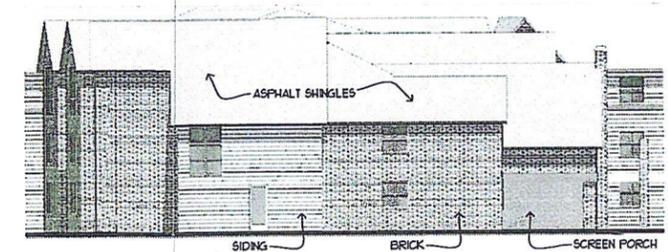
② SOUTH ELEVATION



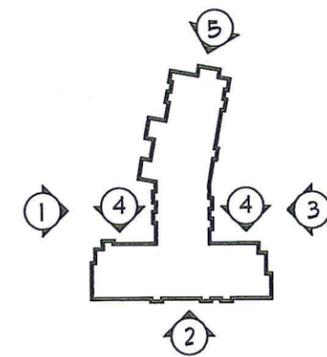
③ EAST ELEVATION



④ NORTH ELEVATION



⑤ NORTH ELEVATION



DAKOTA COUNTY CDA SENIOR HOUSING

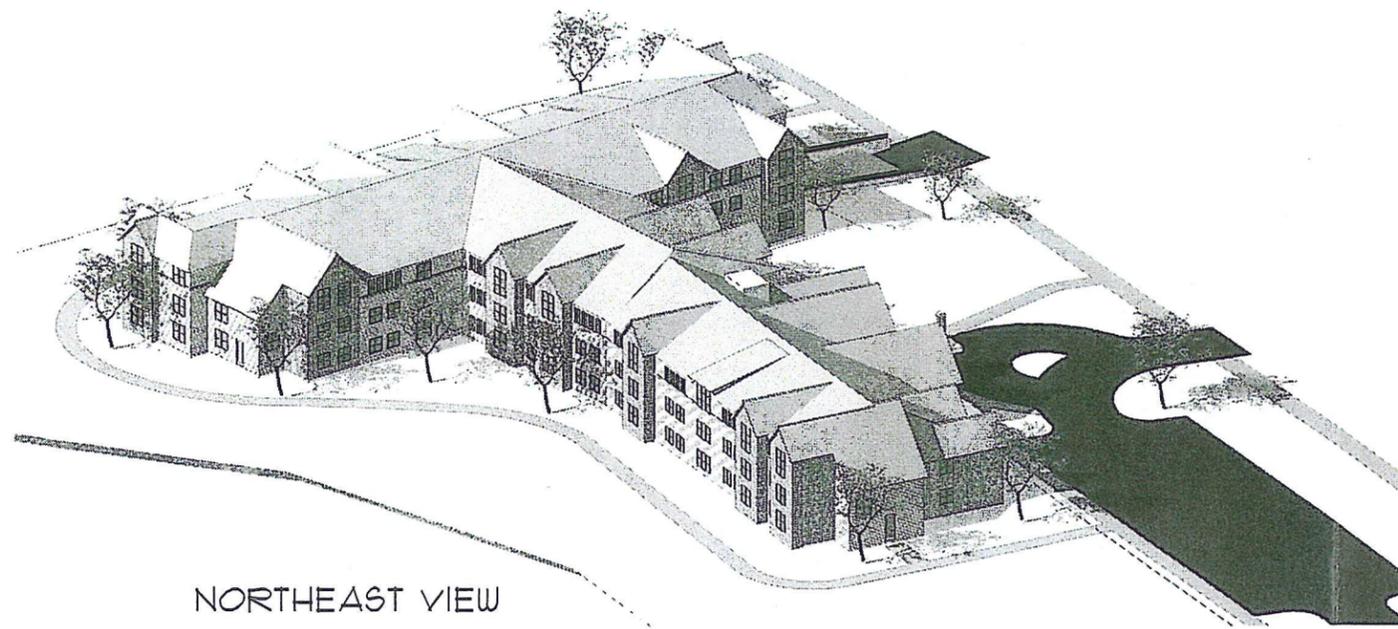
INVER GROVE HEIGHTS, MN

INSITE ARCHITECTS  
Minneapolis, MN / 612.455.1900

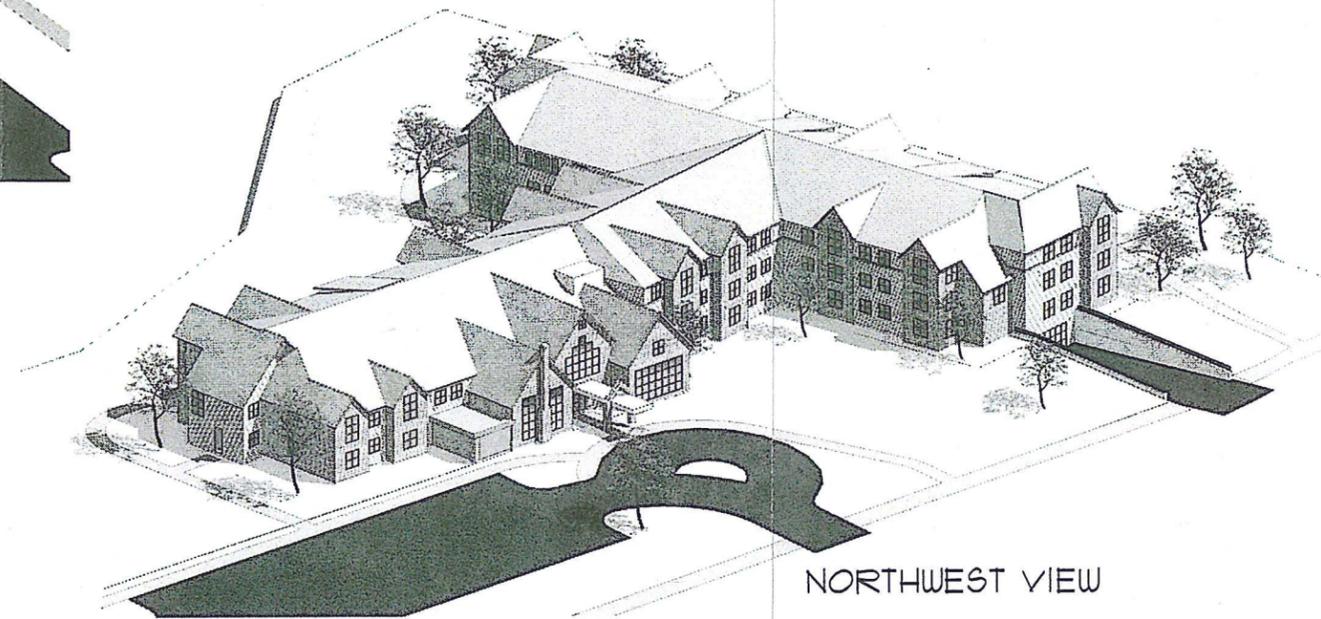
May 6, 2013  
ELEVATIONS



A3  
of 5



NORTHEAST VIEW



NORTHWEST VIEW



SOUTHWEST VIEW

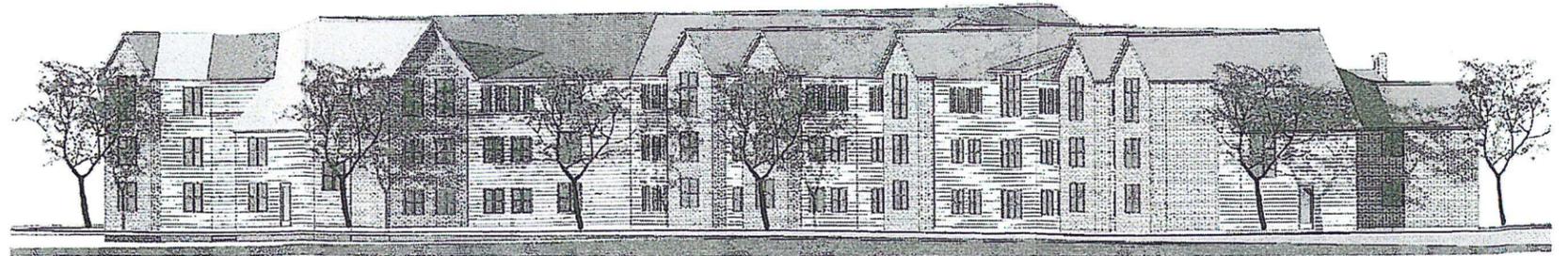
DAKOTA COUNTY CDA SENIOR HOUSING

INSITE ARCHITECTS  
Minneapolis, MN / 612.455.1900

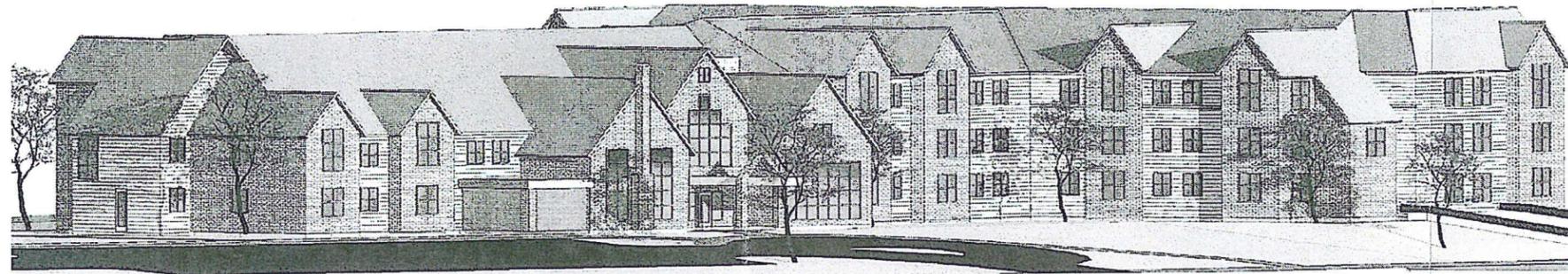
INVER GROVE HEIGHTS, MN

May 6, 2013

3D BIRDSEYE



NORTHEAST VIEW



NORTHWEST VIEW



SOUTHWEST VIEW

DAKOTA COUNTY CDA SENIOR HOUSING

INVER GROVE HEIGHTS, MN

May 6, 2013

INSITE ARCHITECTS  
Minneapolis, MN / 612.455.1900

3D EYE LEVEL

**P L A N N I N G   R E P O R T**  
**C I T Y   O F   I N V E R   G R O V E   H E I G H T S**

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**REPORT DATE:** May 30, 2013

**CASE NO:** 13-19SC

**HEARING DATE:** June 4, 2013

**APPLICANT / PROPERTY OWNER:** Don and Sue Schlomka

**REQUEST:** Final Plat, Major Site Plan Approval and Conditional Use Permit

**LOCATION:** Property north of the Travel Plaza, east of Hwy 52.

**COMPREHENSIVE PLAN:** LI, Light Industrial

**ZONING:** I-1, Limited Industry

**REVIEWING DIVISIONS:** Planning  
Engineering

**PREPARED BY:** Heather Botten  
Associate Planner 

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**BACKGROUND**

The applicants are proposing to develop the vacant property located north of the Travel Plaza. The project consists of a 12,500 square foot building to be used for maintenance and repairs of fleet vehicles for a family owned business. Schlomka's Vac Truck Service currently leases space on the Travel Plaza property and they are looking to expand. In addition to the contractors yard, the site would be used for outdoor storage of portable restroom rentals. There would be no retail sales on site. The applicant's are requesting one main access point onto the frontage road. There would be a seven foot high perimeter fence around the property. The site plan also identifies an 800 square foot future storage building located north of the proposed building.

The specific request includes the following:

- a. A **Final Plat** for a one lot, one outlot subdivision;
- b. A **Conditional Use Permit** for a contractors yard with outdoor storage;
- c. A **Major Site Plan Review** to construct a 12,500 square foot building.

**EVALUATION OF THE REQUEST**

The following land uses, zoning districts and comprehensive plan designations surround the subject property:

North-Swift Transport; zoned I-1; guided LI  
East - IGH Distribution; zoned I-1; guided LI  
South -Travel Plaza; zoned I-1; guided LI  
West - Hwy 52

### **FINAL PLAT**

Lots and Block. The lot was platted as an outlot in 2007 with the plat known as IGH Addition. Since the property has already been platted it does not need to go through the preliminary plat process. The final plat is a one lot, one outlot subdivision to be known as Schlomka's First Addition. The site is 4.07 acres; Lot 1 is 3.23 acres and the outlot is .84 acres. As proposed, the lot meets and exceeds minimum lot size and width standards. The outlot is unbuildable and incorporates a stormwater basin that is currently owned by MnDot and is anticipated to be turned over to the City by the end of 2013.

Park Dedication. Park dedication is required based on the current fee schedule of \$5,500 per acre in the "I" district. Lot 1 is 3.23 acres which would have a park dedication fee of \$17,765. This fee is collected prior to plat release.

### **SITE PLAN REVIEW**

Lot Size/Width. The subject site is located within a I-1, Limited Industry zoning district which has a minimum lot size of 1 acre and a minimum lot width of 100 feet. The subject lot is about 3.23 acres in size and about 574 feet wide. The subject lot meets the minimum lot size and width requirements.

Setback Standards. The building setbacks of 40 feet from property lines would be met.

Impervious Surface/Building Coverage. There is no maximum impervious surface requirement for the property. The I-1 district allows up to 30% building coverage. Including the proposed shop building and the future 800 square foot storage building the property would be at about 9% building coverage.

Access/Parking. The applicant is proposing one main access off the frontage road along the north side of the property. There would be one additional access point on the south side of the property that would access the Travel Plaza site.

The project has 18 parking spaces proposed. The applicant has stated that no customers would be coming to the site; the parking would only be used for employees. Typically there would not be more than a few employees at the building at one time. The proposed parking meets requirements.

Landscaping. Based on the size of the property, the applicants are required to plant the equivalent of 35 trees to meet the landscaping requirements. The applicants are proposing to plant 16 maple and spruce trees, along with some linden and a crabapple tree. The site would also have arborvitae and shrubs. The proposed plan meets the landscaping requirements.

Exterior Materials. The proposed building materials of rock face block, stucco and metal panels comply with code requirements.

Lighting. There is no parking lot lighting proposed. All building lighting shall be designed so as to deflect light away from any adjoining public streets. The source of light shall be hooded, recessed, or controlled in some manner so as not to be visible from adjacent property or streets.

Signage. All signage must comply with the signage allotment for the “I-1” zoning district. Signage is not approved with this plan review and would be reviewed with the submittal of a sign permit.

Outdoor Storage. The outdoor storage is proposed to be located east of the shop building. The storage area shall be screened from view from the public right-of-way. The outdoor storage is shown to be located behind the building, meeting this requirement. There is a future expansion area shown on the plan, extending beyond the building. If this area is used for storage screening is required. The outdoor storage shall be setback at least five feet from the east property line.

Fencing/Screening. The applicant is proposing a seven (7) foot high chain link fence around the perimeter of the property with gates across the drive areas. The plan shows a future storage area that extends south of the building, all outdoor storage that extends beyond the building shall be screened with a solid fence.

Any roof top mechanical equipment shall be substantially screen from view from roads. Large scale ground mounted mechanical equipment shall be screened from view with adequate landscape material.

Grading and Drainage. Engineering has reviewed the plans and has been working with the applicant on storm water and grading requirements. Engineering has made some recommendations on conditions that should be added to the approval; these conditions are included in the list of conditions at the end of this report. Final site, grading, storm water management, and erosion control plans shall be approved by the City Engineer.

Other Agency Review. This request was sent to the MnDOT for review. The City has not yet received a response. Prior to commencing construction, the applicant shall obtain all necessary federal, state, and local permits including, but not limited to a MnDot right-of-way permit.

### **GENERAL CONDITIONAL USE PERMIT REVIEW**

This section reviews the plans against the CUP criteria in the Zoning Ordinance (Section 10-3A).

- 1. The use is consistent with the goals, policies and plans of the City Comprehensive Plan, including future land uses, utilities, streets and parks.*

The use is consistent with the goals, policies, and plans of the Comprehensive Plan. The future land use of this parcel is Limited Industrial a contractors yard with outdoor storage is consistent with the uses envisioned in this district.

2. *The use is consistent with the City Code, especially the Zoning Ordinance and the intent of the specific Zoning District in which the use is located.*

The applicant's property is zoned industrial. The land use of a contractors yard / truck service is consistent with the intent of the I-1 zoning district.

3. *The use would not be materially injurious to existing or planned properties or improvements in the vicinity.*

The proposed building and land use would not have a negative impact on the surrounding area as it lies within an area of the City that is currently industrially developed.

4. *The use does not have an undue adverse impact on existing or planned City facilities and services, including streets, utilities, parks, police and fire, and the reasonable ability of the City to provide such services in an orderly, timely manner.*

This industrial neighborhood is all developed and the land use patterns set. The proposed addition would not have an adverse impact on fire protection or on any city service.

5. *The use is generally compatible with existing and future uses of surrounding properties, including:*

- i. Aesthetics/exterior appearance*

All four sides of the building shall have an equally attractive or the same fascia as the front of the building.

- ii. Noise*

The proposed use would not generate noises that are inconsistent with I-1 zoning.

- iii. Fencing, landscaping and buffering*

Security fencing is proposed around the perimeter of the property and screening is required for the outdoor storage if it extends beyond the building.

6. *The property is appropriate for the use considering: size and shape; topography, vegetation, and other natural and physical features; access, traffic volumes and flows; utilities; parking; setbacks; lot coverage and other zoning requirements; emergency access, fire lanes, hydrants, and other fire and building code requirements.*

There would be one new access along the frontage road. The amount of traffic would not really be changing as the applicant currently leases space out of the Travel Plaza building. Building setbacks exceed code requirements.

7. *The use does not have an undue adverse impact on the public health, safety or welfare.*

This use does not appear to have any negative effects on the public health, safety or welfare.

8. *The use does not have an undue adverse impact on the environment, including, but not limited to, surface water, groundwater and air quality.*

All storm water requirements will be addressed in final plans approved by Engineering.

### **ALTERNATIVES**

The Planning Commission has the following actions available for the request:

- A. **Approval.** If the Planning Commission finds the application to be acceptable, the following actions should be taken:
- Approval of the **Final Plat** for a one lot, one outlot subdivision to be known as Schlomka's First Addition subject to the following conditions:
    1. Park dedication shall be a cash contribution for Lot 1 of \$17,765 to be paid by the property owner at time of plat release.
  - Approval of the **Major Site Plan Review and Conditional Use Permit** for a contractors yard with outdoor storage subject to the following conditions:
    1. The final plat and accompanying plans shall be in substantial conformance with the following plans on file with the Planning Department except as may be modified by the conditions below.

Final Plat	No Date
Site Plan	dated 5/21/13
Drainage and Grading Plan	dated 5/21/13
Utility Plan	dated 5/21/13
Landscape Plan	dated 5/21/13
Elevation Plans (2 sheets)	dated 5/3/13

2. An improvement agreement shall be prepared by the City Attorney and executed by both the City and the property owner.
3. A storm water facility maintenance agreement shall be prepared by the City Attorney and executed by both the City and the property owner to ensure long term maintenance of the facilities.
4. Prior to any work being done on the site, an Engineering cash escrow and letter of credit shall be submitted to the City to ensure the proper construction of the improvements and to review the drainage modeling.
5. The developer shall meet all the conditions outlined in the City Engineers review letters and subsequent correspondence. Prior to commencement of any grading, the final grading, drainage and erosion control, and utility plans shall be approved by the City Engineer.
6. Any roof top mechanical equipment shall be substantially screen from view from roads. Large scale ground mounted mechanical equipment shall be screened from view with adequate landscape material.
7. All parking lot and building lighting on site shall be a down cast “shoe-box” style or cut-off style and the bulb shall not visible from property lines.
8. All plans shall be subject to the review and approval of the Fire Marshal.
9. The City Code Enforcement Officer, or other designee, shall be granted right of access to the property at all reasonable times to ensure compliance with the conditions of this permit.

**B. Denial.** If the Planning Commission does not favor the proposed applications or portions thereof, the above request or requests should be recommended for denial. With a recommendation for denial, findings or the basis for the denial should be given.

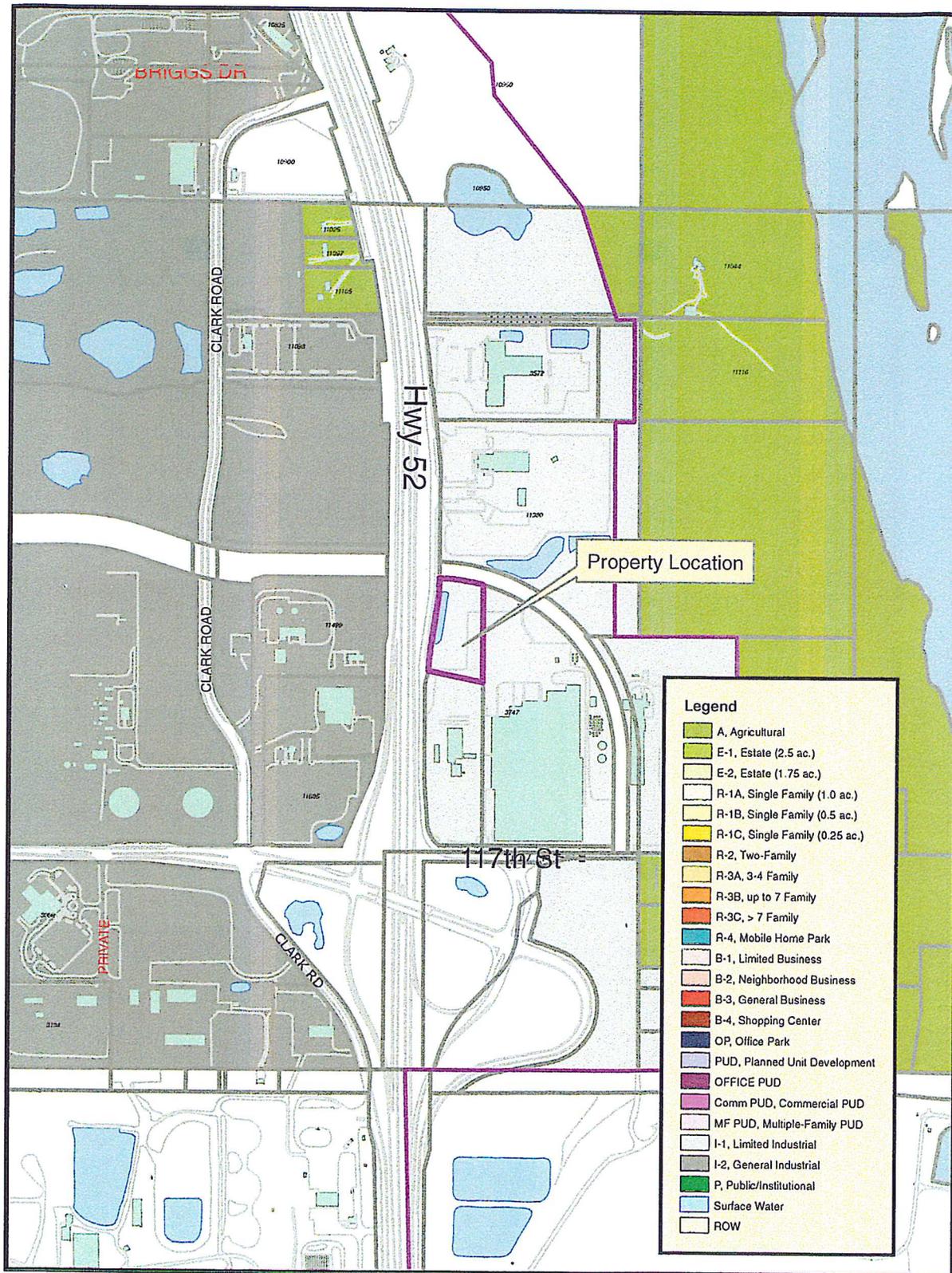
### **RECOMMENDATION**

Based on the information in the preceding report and the conditions listed in Alternative A, staff is recommending approval of the requests.

Attachments: a- Zoning and Location Map                      e- Grading Plan  
                  b- Applicant Narrative                              f- Landscaping Plan  
                  c- Plat    g- Elevations  
                  d- Site Plan



# Schlomka Case No. 13-19SC



Map not to scale

Exhibit A  
Zoning and Location Map

May 6<sup>th</sup>, 2013

TO: The City of Inver Grove Heights

We were incorporated in 2000 as Schlomka's Vac Truck Service. We are a third generation business evolving from a family owned septic company which was started in the late 1930's. The owner, Don Schlomka started in the refinery in 1979. Our main focus in business is providing vac support to refineries, pipelines, and other commercial businesses. We specialize in hydro- excavation, chemical cleaning, environmental remediation, and petroleum transferring. Over 90% of our business comes directly from Flint Hills Resources. The other 10% of our work is with companies such as Koch Pipeline, Magellan Pipeline, and Metropolitan Council.

With Flint Hills Resources being our biggest customer, we have grown to accommodate their needs. In 2000 we employed only four employees, and currently we have fifteen working on site. Our employees work 365 days of the year.

While most of our equipment is stored directly on site inside the refinery, we do also currently lease a shop space. The shop we hope to build is to be used for our business to repair and maintain our equipment. We are not a retail business.

Our Son, Dan Schlomka will also use this facility. He operates a growing portable restroom rental business. His main customers include Flint Hills Refinery, The City of Cannon Falls, The City of Farmington, and The City of Miesville. He will be storing rental units in the winter months. He will not be emptying wastewater onsite. The units are pumped out and the waste is emptied at Empire Treatment Facility or another permitted treatment facility.

Thank you,

*Don E Schlomka Susan K Schlomka*

Don & Sue Schlomka

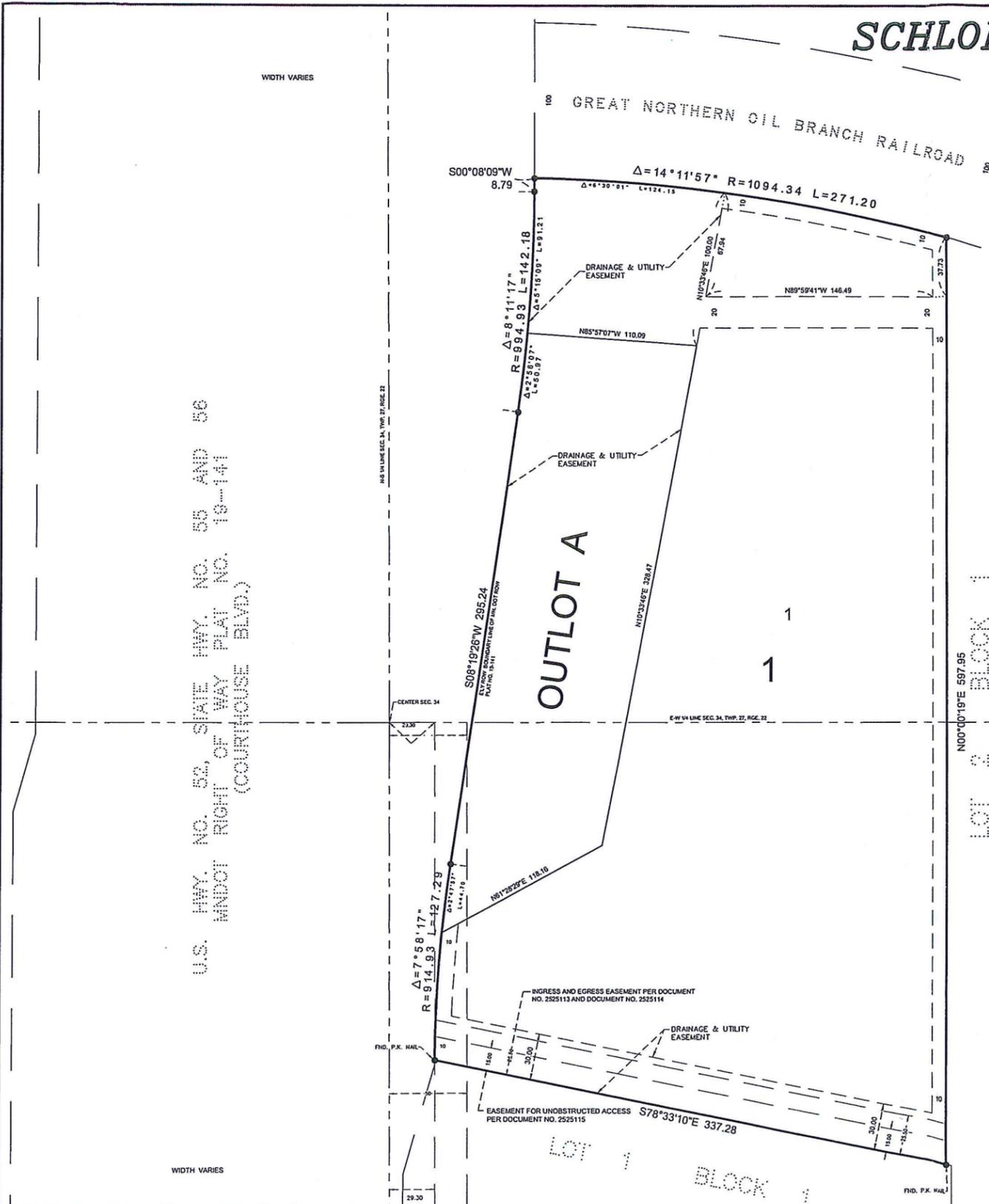
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Schlomka's Vac Truck Service Inc.  
13540 193<sup>rd</sup> Way East  
Hastings, MN 55033  
Ph: 651.437.7284  
Fax: 651.437.9405  
Email: office@svtsinc.com



2

# SCHLOMKA FIRST ADDITION



KNOW ALL PERSONS BY THESE PRESENTS: That Donald Schlomka and Susan Schlomka, husband and wife, owners, and XXXXXXXXXXXX, a Minnesota Corporation, mortgagee, of the following described property:

Outlot A, IGH ADDITION, according to the recorded plat thereof, on file in the office of the Registrar of Titles, Dakota County, Minnesota.

Have caused the same to be surveyed and platted as SCHLOMKA FIRST ADDITION and do hereby dedicate to the public for public use the public ways and the drainage and utility easements as created herewith, as shown on this plat.

In witness whereof said Donald Schlomka and Susan Schlomka, husband and wife, have hereunto set their hands this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Donald Schlomka \_\_\_\_\_ Susan Schlomka \_\_\_\_\_

STATE OF MINNESOTA  
COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me on \_\_\_\_\_ by Donald Schlomka and Susan Schlomka.

Notary Public,  
My Commission expires \_\_\_\_\_

### SURVEYORS CERTIFICATE

I Mitchell A. Scofield do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the dated of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Mitchell A. Scofield, Land Surveyor  
Minnesota License No. 48634

STATE OF MINNESOTA  
COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me on \_\_\_\_\_ by Mitchell A. Scofield.

Notary Public,  
My Commission expires \_\_\_\_\_

CITY PLANNING COMMISSION  
Approved by the Planning Commission of the Inver Grove Heights of \_\_\_\_\_, Minnesota, this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

By \_\_\_\_\_, Chairman By \_\_\_\_\_, Secretary

CITY COUNCIL  
This plat was approved by the City Council of Inver Grove Heights, Minnesota, this \_\_\_\_ day of \_\_\_\_\_, 20\_\_ and hereby certifies compliance with all requirements as set forth in Minnesota Statutes, Section 505.03, Subd. 2.

By \_\_\_\_\_, Mayor By \_\_\_\_\_, Clerk

COUNTY SURVEYOR  
I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Todd B. Tollefson  
Dakota County Surveyor

DEPARTMENT OF PROPERTY TAXATION AND RECORDS  
Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20\_\_ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_, Director  
Department of Property Taxation and Records

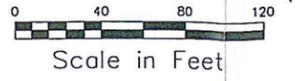
REGISTRAR OF TITLES, COUNTY OF DAKOTA, STATE OF MINNESOTA

I hereby certify that this plat of SCHLOMKA FIRST ADDITION was filed in the office of the Registrar of Titles for public record on this \_\_\_\_ day of \_\_\_\_\_, 20\_\_, at \_\_\_\_ o'clock \_\_\_\_ M. and was duly filed in Book \_\_\_\_\_ of Plats, Page \_\_\_\_\_, as Document Number \_\_\_\_\_.

\_\_\_\_\_, Registrar of Titles By \_\_\_\_\_, Deputy

NO MONUMENT SYMBOL SHOWN ON THE PLAT INDICATES A 1 INCH BY 18 INCH IRON PIPE HAVING A PLASTIC CAP BEARING LAND SURVEYOR LICENSE 48634 TO BE SET ACCORDING TO MINNESOTA STATUTES, AND SHALL BE IN PLACE WITHIN ONE YEAR OF THE RECORDING DATE OF THIS PLAT.

- DENOTES A PLACED 1 INCH BY 18 INCH IRON PIPE HAVING A PLASTIC CAP BEARING LAND SURVEYOR LICENSE NO. 48634.
- DENOTES FOUND IRON MONUMENT.
- ⊕ DENOTES FOUND COUNTY MONUMENT.

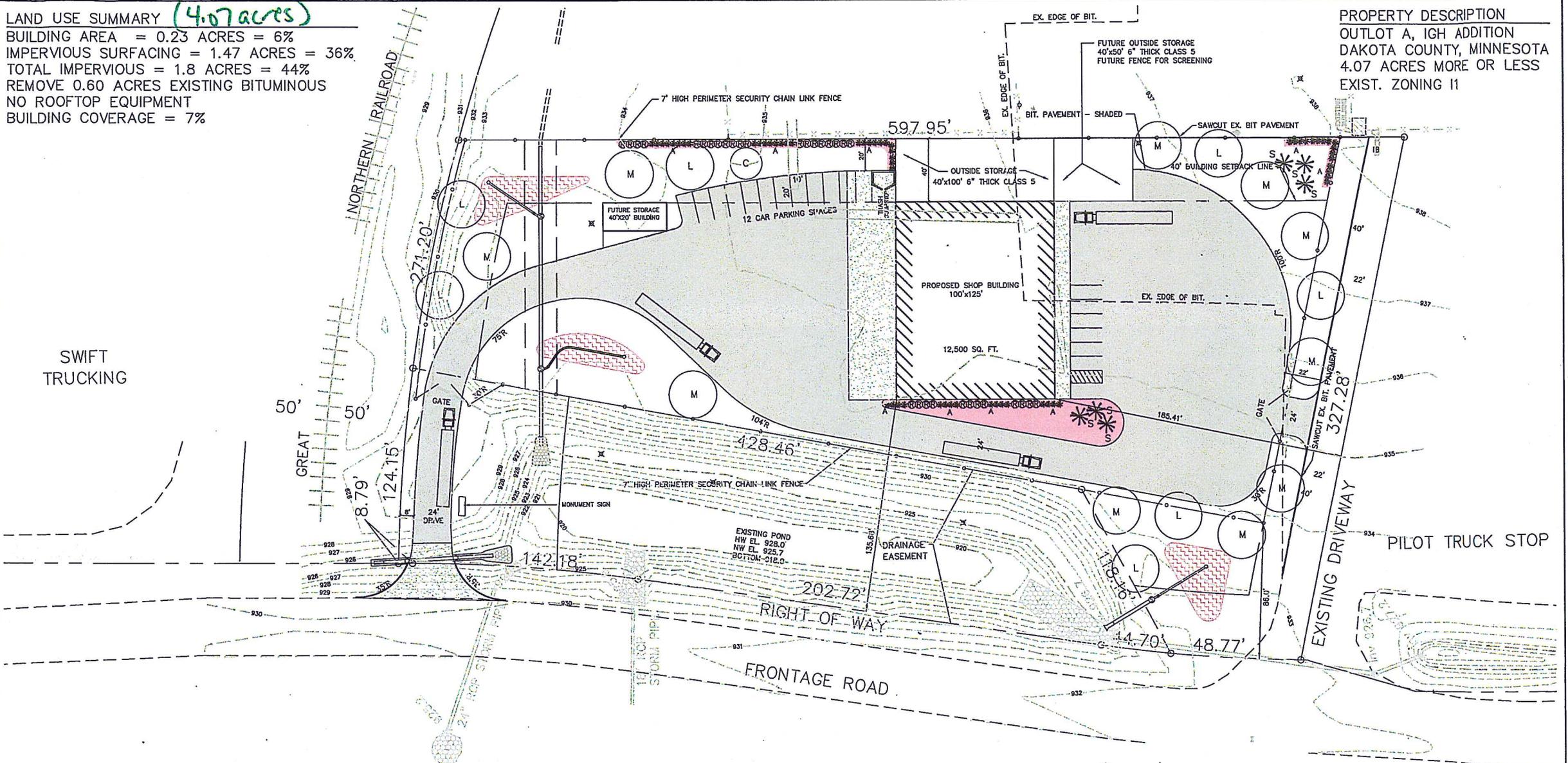


**Engineering, Surveying & Planning**  
**JOHNSON & SCOFIELD INC.**  
G G G, INC.  
507 Vermillion Street Hastings, Mn 55033  
ph. 651.438.0000 fax 651.438.9005

LAND USE SUMMARY (4.07 acres)

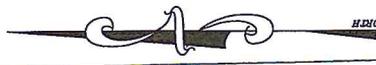
BUILDING AREA = 0.23 ACRES = 6%  
 IMPERVIOUS SURFACING = 1.47 ACRES = 36%  
 TOTAL IMPERVIOUS = 1.8 ACRES = 44%  
 REMOVE 0.60 ACRES EXISTING BITUMINOUS  
 NO ROOFTOP EQUIPMENT  
 BUILDING COVERAGE = 7%

PROPERTY DESCRIPTION  
 OUTLOT A, IGH ADDITION  
 DAKOTA COUNTY, MINNESOTA  
 4.07 ACRES MORE OR LESS  
 EXIST. ZONING I1

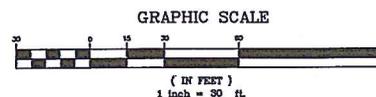


SWIFT TRUCKING

PILOT TRUCK STOP



EARTHWORK TABULATION  
 COMMON EXCAVATION = 6,600 CU. YDS.  
 EMBANKMENT = 1,125 CU. YDS.



SHEET INDEX

1	SITE PLAN
2	GRADING AND DRAINAGE PLAN
3	EROSION CONTROL PLAN
4	UTILITY PLAN
5	UTILITY PLAN
6	LANDSCAPE PLAN

GOVERNING SPECIFICATIONS  
 THE 2010 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION", SUBJECT TO ANY AMENDMENTS & THE 1999 EDITION OF THE "STANDARD UTILITIES SPECIFICATIONS" AS PER THE CITY ENGINEER'S ASSOCIATION OF MINNESOTA AND THE CURRENT CITY OF INVER GROVE HEIGHTS STANDARD SPECIFICATIONS SHALL GOVERN. ALONG WITH THE CURRENT MMUTCD MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

NB TH 52, 55' AND 56

<p>Engineering, Surveying &amp; Planning  <b>JOHNSON &amp; SCOFIELD INC.</b>                  507 Vermillion Street Hastings, Mn 55033                  ph. 651.438.0000 fax 651.438.9005</p>	<p>I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA</p> <p>Geoffrey O Orlino                  DATE _____ REG. NO. 21940</p>	DESIGNED	DJT	REVISED	BY	DATE	LATEST REVISION: 5-21-2013	CITY OF INVER GROVE HEIGHTS DAKOTA COUNTY, MINNESOTA 2013 CONSTRUCTION	SCHLOMKA'S FIRST ADDITION	SITE PLAN
		DRAWN					Prepared For: Don and Sue Schlomka 13540 193rd Way East Hastings, MN 55033			

PROPOSED INFILTRATION BASIN #2  
 TOP EL. 933.0  
 BOTTOM EL. 930.0  
 PLACE 4" DRAIN TILE WITH FILTER SOCK  
 PLACE 4" CLEAN OUT INV. 928.0 TOP 930.0  
 74 LF - 4" DRAINTILE @ 1.0% GRADE  
 100YR HW EL. 932.34  
 EOF 10' WIDE WER OVERFLOW EL. 932.5

STORM MANHOLE #2 - BEEHIVE INLET  
 RIM. EL. 932.00  
 INV. EL. 925.78  
 45 LF - 24" RCP @ 0.20%  
 BULKHEAD INV. 925.88

FUTURE OUTSIDE STORAGE  
 40'x50' 6" THICK CLASS 5  
 FUTURE FENCE FOR SCREENING

AFTER CONTRIBUTING DRAINAGE AREAS VEGETATION ARE ESTABLISHED  
 PROPOSED INFILTRATION BASINS SHALL BE SUBJECT TO  
 AND BACKFILLED WITH ENGINEERED SOIL MIX B  
 AND CONSTRUCTED MEETING DAKOTA COUNTY SWCD LID  
 LOW IMPACT DEVELOPMENT STANDARDS.  
 ENGINEERED SOIL SHALL MEET MINNESOTA STORMWATER MANUAL  
 4.1.2 MIX B: ENHANCED FILTRATION BLEND (WELL BLENDED  
 MIXTURE OF 70% ASTM C-33 COARSE WASHED SAND (MnDOT J125)  
 AND 30% MnDOT 3B90 GRADE 2 LEAF LITTER COMPOST). THE MATERIAL  
 SHALL PROVIDE DOCUMENTATION THAT THE COMPOST HAS BEEN SAMPLED  
 AND TESTED AS REQUIRED BY THE SEAL OF TESTING ASSURANCE (STA)  
 THE PROGRAM OF THE UNITED STATES COMPOSTING COUNCIL (USCC) AND  
 A GRADATION SIEVE ANALYSIS FOR THE WASHED SAND. THE ENGINEERED  
 SOIL SHALL NOT CONTAIN ANY TOPSOIL OR FILTER AGGREGATE WITH FINES.

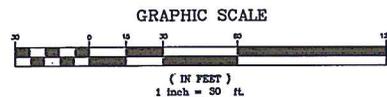
PROPOSED INFILTRATION BASIN #1  
 TOP EL. 933.0  
 BOTTOM EL. 929.0  
 PLACE 4" DRAIN TILE WITH FILTER SOCK  
 PLACE 4" CLEAN OUT INV. 927.0 TOP 929.0  
 55 LF - 4" DRAINTILE @ 1.0% GRADE  
 100 YR HW EL. 932.33  
 EOF 10' WIDE WER OVERFLOW EL. 932.5  
 STORM MANHOLE #1 - BEEHIVE INLET  
 RIM. EL. 932.00  
 INV. EL. 925.58  
 44 LF - 24" RCP @ 0.20%  
 PLACE 24" RCP APRON INV. 925.50  
 PLACE RIPRAP OUTLET  
 PER. MnDOT STD. PLT. 3139A

SWIFT  
 TRUCKING

60 LF 18" CMP CULVERT @ 1.37%  
 2 EA. 18" SAFETY APRONS  
 IN EL. 925.0 - OUT EL. 924.0  
 RIPRAP OUTLET  
 PER MnDOT STD. PLT. 3134C

CONSTRUCT CONCRETE ENTRANCE W/CURB  
 35' LONG x 25' WIDE x 8" THICK  
 LOW POINT 25' FROM EDGE OF EXIST. BIT.  
 AS PER CITY SDT. PLT. STR-10  
 MODIFIED GRADE AND 35' RADIUS  
 4' WIDE x 3' LONG CONC. FLUME AT LOW POINT  
 6" WIDE RIPRAP W/GEOTEXTILE TO BOTTOM OF SLOPE

EARTHWORK TABULATION  
 COMMON EXCAVATION = 6,600 CU. YDS.  
 EMBANKMENT = 1,125 CU. YDS.



NB TH 52, 55 AND 56

Engineering, Surveying  
 & Planning  
**JOHNSON & SCOFIELD INC.**  
 G-Cubed  
 507 Vermillion Street Hastings, Mn 55033  
 ph. 651.438.0000 fax 651.438.9005

I HEREBY CERTIFY THAT THIS PLAN,  
 SPECIFICATION, OR REPORT WAS  
 PREPARED BY ME OR UNDER MY  
 DIRECT SUPERVISION AND I AM A  
 DULY LICENSED PROFESSIONAL  
 ENGINEER UNDER THE LAWS OF THE  
 STATE OF MINNESOTA  
 DATE \_\_\_\_\_ GEORGE O. ORTIN  
 REG. NO. 21940

DESIGNED	BY	DATE	LATEST REVISION:
DJT			5-21-2013
DRAWN			Prepared For:
CHECKED			Don and Sue Schlomka
			13540 193rd Way East
			Hastings, MN 55033
			FILE NO.: 11-103

CITY OF INVER GROVE HEIGHTS  
 DAKOTA COUNTY, MINNESOTA  
 2013 CONSTRUCTION

SCHLOMKA'S  
 FIRST ADDITION

DRAINAGE AND GRADING  
 PLAN  
 SHEET 2 OF 6 SHEETS



Rosa  
Architectural  
Group  
Inc.

1084 Sterling Street  
St. Paul, Minnesota 55119  
tel: 651-739-7988  
fax: 651-739-3165

PROPOSED SHOP  
FACILITY FOR  
SCHLOMKA VAC  
TRUCK SERVICE

INVER GROVE HEIGHTS,  
MINNESOTA

VANGUARD  
CONSTRUCTION

2350 WYCLIFF STREET  
ST. PAUL, MN 55114

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS  
PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I  
AM A duly LICENSED ARCHITECT UNDER THE LAWS OF THE STATE  
OF MINNESOTA.

DATE: \_\_\_\_\_ REG. NO: \_\_\_\_\_  
SCALE: \_\_\_\_\_

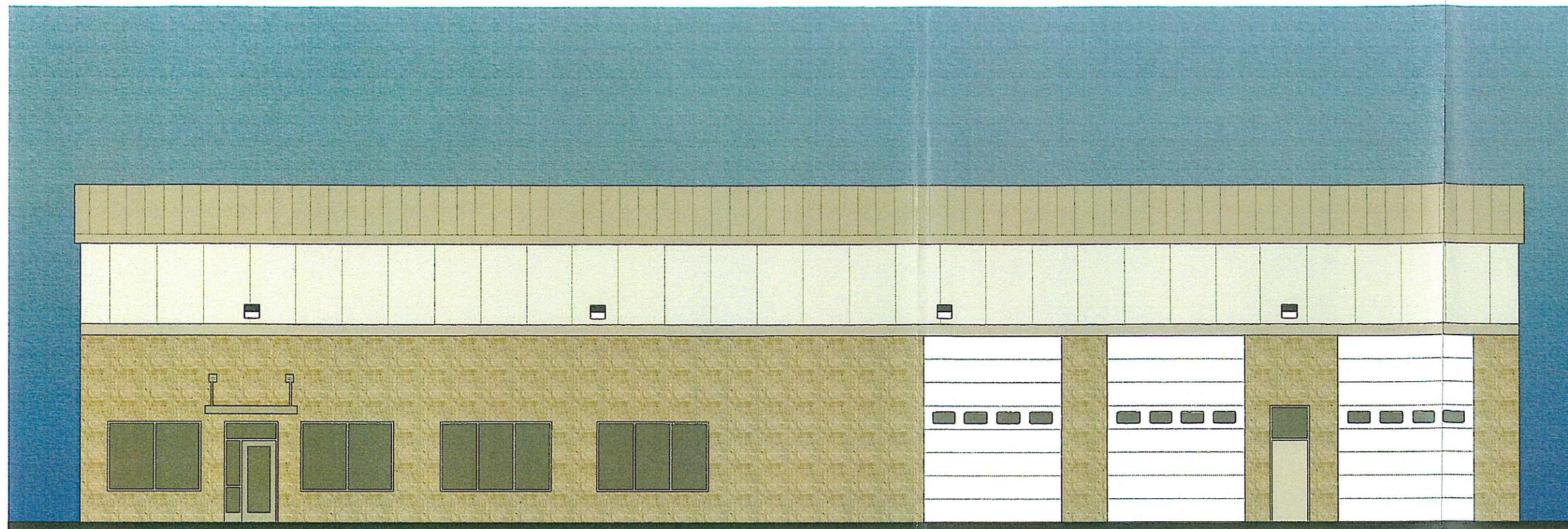
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS  
PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I  
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OF MINNESOTA.

DATE: \_\_\_\_\_ REG. NO: \_\_\_\_\_  
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PROJECT NUMBER: 21320  
DATE: MAY 3, 2013  
DRAWN BY: JI  
CHECKED BY: RR  
REVISIONS:

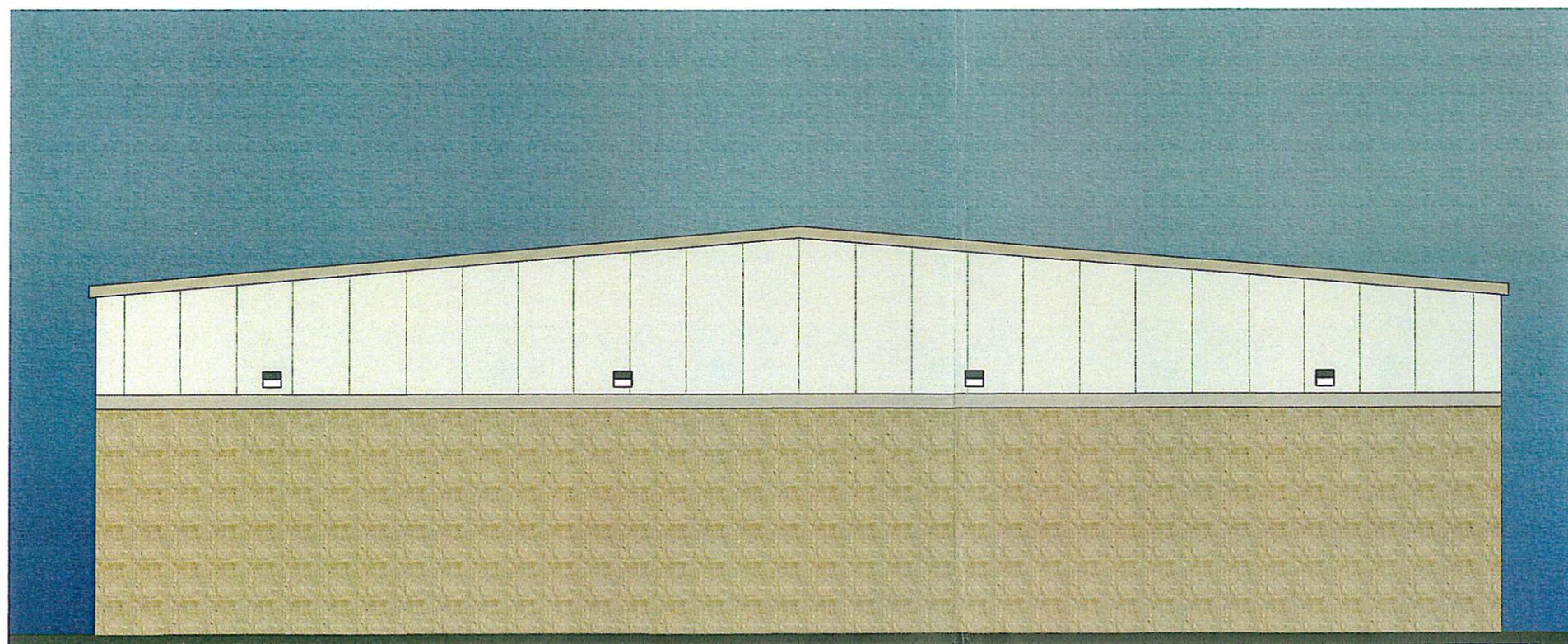
PROPOSED  
COLOR ELEVATIONS

A4.1 



SOUTH ELEVATION

Scale: 3/16" = 1'-0"



EAST ELEVATION

Scale: 3/16" = 1'-0"

Rosa  
Architectural  
Group  
Inc.

1084 Sterling Street  
St. Paul, Minnesota 55119  
tel: 651-739-7988  
fax: 651-739-3165

PROPOSED SHOP  
FACILITY FOR  
SCHLOMKA VAC  
TRUCK SERVICE

INVER GROVE HEIGHTS,  
MINNESOTA

VANGUARD  
CONSTRUCTION

2350 WYCLIFF STREET  
ST. PAUL, MN 55114

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS  
PREPARED BY ME OR UNDER MY SUPERVISION AND THAT I  
AM A duly licensed architect under the laws of the state  
of MINNESOTA.

DATE: \_\_\_\_\_ BY: \_\_\_\_\_

SCALE: \_\_\_\_\_

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS  
PREPARED BY ME OR UNDER MY SUPERVISION AND THAT I  
AM A duly licensed architect under the laws of the state  
of MINNESOTA.

DATE: \_\_\_\_\_ BY: \_\_\_\_\_

SCALE: \_\_\_\_\_

PROJECT NUMBER: 21.520

DATE: MAY 3, 2013

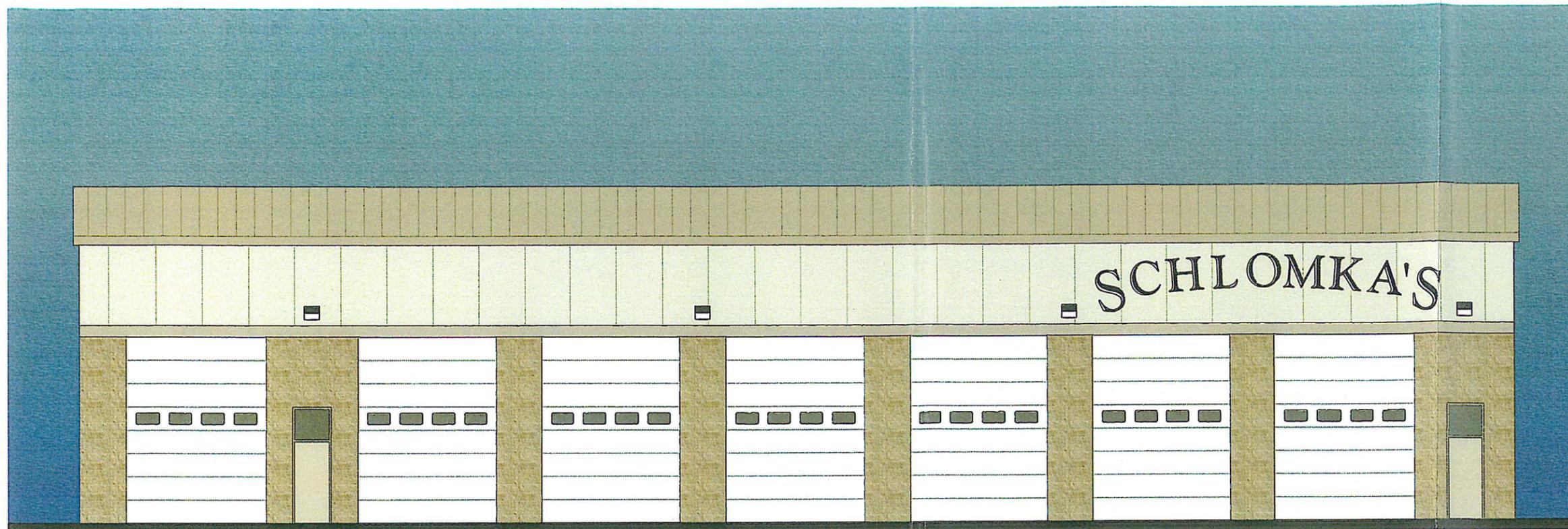
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CHECKED BY: RR

REVISIONS:

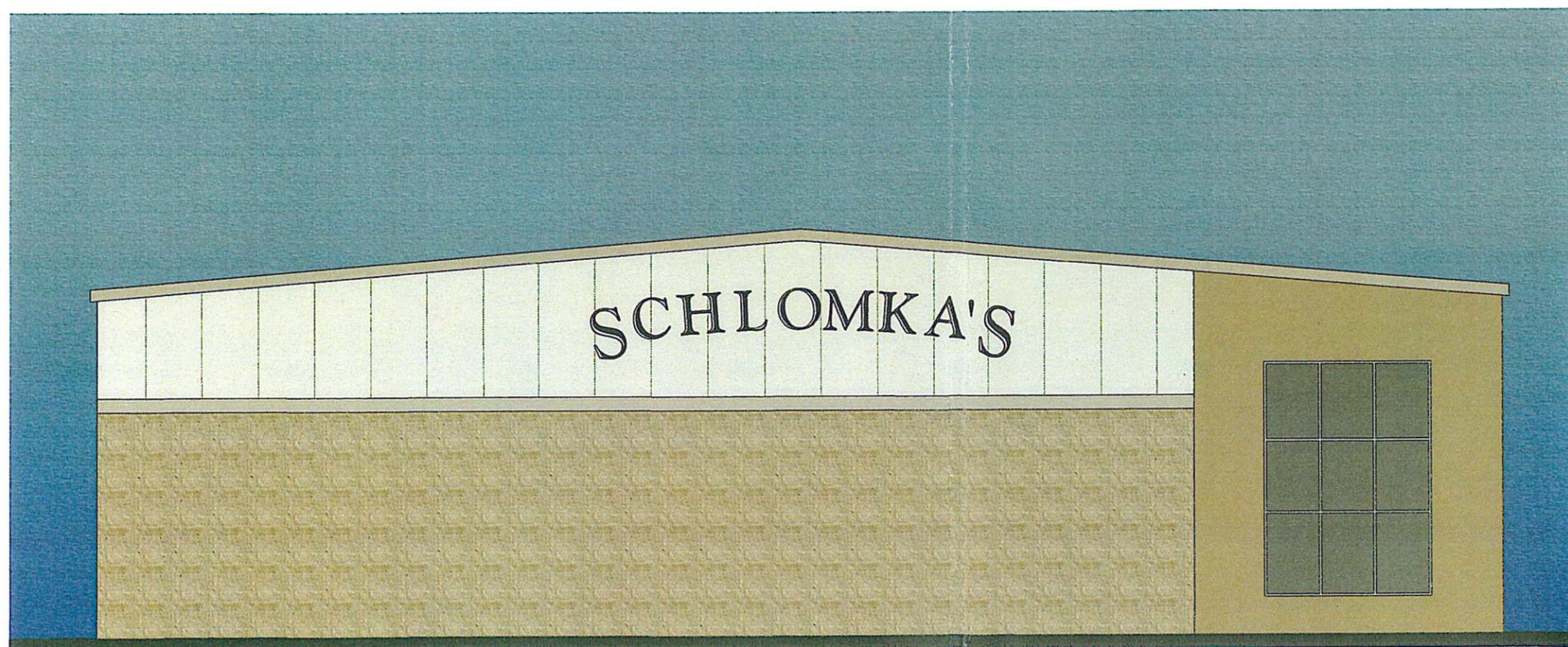
PROPOSED  
COLOR ELEVATIONS

A4.2



NORTH ELEVATION

Scale: 3/16" = 1'-0"



WEST ELEVATION

Scale: 3/16" = 1'-0"

42



## **EVALUATION OF REQUEST**

Surrounding Uses: The subject site is surrounded by the following uses:

North	Tractor Supply Store; zoned B-3; guided CC
East	Large lot residential; zoned A; guided CC
South/West	MnDOT right-of-way for Highway 52/55

### **Preliminary/Final Plat**

The applicant is proposing to combine two existing lots into one lot. The plat provides for all necessary utility easements. The lot size and width comply with city standards. No additional right-of-way is being requested.

Park dedication is due for a portion of the property that was not in Arbor Pointe. The east half of the lot, approximately 2.2 acres owes park dedication at a rate of \$7,000/acre. The fee is collected at time of plat release

### **Major Site Plan Review**

Setbacks. The proposed parking lot and building and future building expansion meets and exceeds the required perimeter setbacks for the site.

Parking Lot. The entire display area for the trailers is shown as a bituminous surface which meets city standards. There are 9 parking spaces shown for customers and spaces for trailer service. The parking area complies with city standards.

Screening/Landscaping. Based on the size of the lot, a total of 30 over story trees are required. The plantings must be at least 50% over story and be a mix of coniferous and deciduous trees. The landscape plan identifies 24 over story trees and 8 ornamental trees. The plan is two over story trees short. Engineering has reviewed the plan and notes that plantings shown along the north boundary are not allowed in the drainage and utility easements. The applicant has the option of planting the appropriate species of shrubs in the rain garden at the south end of the site as a possible replacement for those shown along the north side. Staff also recommends that there should be a few trees planted along the highway frontage to break up the visual sight lines. The landscape plan must be revised to show the appropriate number of plantings to meet minimum landscape standards and over story plantings must be moved out of easements. A revised landscape plan must be reviewed and approved by staff prior to any work commencing on the site.

Access. Access to the site would be via one entrance onto Cahill Avenue. Planning and Engineering find the location acceptable.

Building Materials. Based on previous zoning approvals, this property must still follow the Arbor Pointe Design Manual for exterior building materials. The primary features include using "Arbor Pointe Green" as an accent color and the use of awnings on the buildings. Building materials should be varied in texture and material and basic colors to be earth tones. The applicant has provided color renditions of the building exterior. Staff has reviewed and found the building to be consistent with the intent of the design manual. There is the green color in the building and awnings are shown over windows.

Engineering. Engineering has reviewed the plans and finds them generally acceptable. The City Engineer has made separate comments on his memo dated May 15, 2013. These comments must be incorporated into the final plan set prior to any work commencing on the site.

Lighting. Lighting is shown on the building and parking lot. The building lighting is consistent with standards of no direct visibility of the light bulbs. Parking lot lighting is shown with three light standards in the parking lot. These fixtures must be a shoe box style with flat lenses. Details of the light fixtures must be provided at time of building permit.

Improvement Agreement. An improvement agreement would be required with this development to address specific improvements to the site, and storm water. Details of the improvement agreement would be worked out prior to City Council review.

**Conditional Use Permit (CUP)**

The specific request for a CUP for outdoor storage is reviewed below against the standards found in the Zoning Ordinance, Section 10-3A-5.A.

1. *The use is consistent with the goals, policies and plans of the City Comprehensive Plan, including future land uses, utilities, streets and parks.*  
The proposed use is consistent with Comprehensive Plan. The designation of commercial is consistent with the zoning of the property. Outdoor storage associated with commercial uses is consistent with policies and goals of the plan.
2. *The use is consistent with the City Code, especially the Zoning Ordinance and the intent of the specific Zoning District in which the use is located.*  
This standard is met. The outdoor storage area meets all performance standards of the ordinance.
3. *The use would not be materially injurious to existing or planned properties or improvements in the vicinity.*  
The city Council deemed this specific land use to be general retail with outdoor storage as part of a zoning action late last year. The outdoor storage and display here was considered similar to that found on Tractor Supply. Based on this interpretation, this use would be consistent with others in the area and would not be material injurious to existing or planned improvements.

4. *The use does not have an undue adverse impact on existing or planned City facilities and services, including streets, utilities, parks, police and fire, and the reasonable ability of the City to provide such services in an orderly, timely manner.*

This standard is met. The outdoor storage and display would not have a negative impact on city facilities and services.

5. *The use is generally compatible with existing and future uses of surrounding properties, including:*

a) *Aesthetics/exterior appearance*

The use of property is similar to that of Tractor Supply to the north. Use would be compatible with surrounding properties.

b) *Noise*

This use would not create any additional or unusual noise over and above standard commercial operations.

c) *Traffic*

Traffic would be the same as other commercial uses. Use would not put any undue burden on Cahill Avenue and surrounding roads.

d) *Drainage*

Applicant is providing the necessary storm water management as required by the Engineering Department.

e) *Fencing, landscaping and buffering*

A short perimeter fencing is proposed. Landscaping is provided around some of the perimeter of the property. There are some required changes to the submitted plan that have been addressed previously in the report.

f) *Other operational characteristics*

There do not appear to be any unusual operational characteristics that would have negative impacts on surrounding properties.

6. *The property is appropriate for the use considering: size and shape; topography, vegetation, and other natural and physical features; access, traffic volumes and flows; utilities; parking; setbacks; lot coverage and other zoning requirements; emergency access, fire lanes, hydrants, and other fire and building code requirements.*

The use has been considered consistent with the list of allowed uses for the property. All performance standards have been met. The property is appropriate for the proposed use.

7. *The use does not have an undue adverse impact on the public health, safety or welfare.*

Staff is not aware of any public health, safety or welfare issues associated with the proposal. This standard has been met.

8. *The use does not have an undue adverse impact on the environment, including, but not limited to, surface water, groundwater and air quality.*

All storm water requirements will be addressed in final plans approved by Engineering.

## **ALTERNATIVES**

The Planning Commission has the following alternatives available for the proposed request:

A. **Approval.** If the Planning Commission finds the application to be acceptable, the following action should be taken:

o Approval of the **Preliminary and Final Plat for a one lot subdivision to be known as Absolute Trailer Addition** subject to the following conditions:

1. Park dedication is required for the 2.2 acre parcel that has not paid previously. Payment is due at time of release of final plat.

o Approval of the **Major Site Plan Approval and Conditional Use Permit** for a trailer sales operation with outdoor storage subject to the following conditions:

1. The final plat and accompanying site plans shall be in substantial conformance with the following plans on file with the Planning Department except as may be modified by the conditions below.

Final Plat	No Date
Site Plan	dated 5/24/13
Grading and Erosion Control Plan	dated 5/24/13
Utility Plan	dated 5/24/13
Landscape Plan	dated 5/24/13
Elevation Plans (2 sheets)	dated 5/6/13

2. An improvement agreement shall be required to be entered into between the City and the developer addressing the improvements on the site. The improvement agreement shall be approved by the City Council prior to release of the final plat.

3. Any roof top mechanical equipment shall be substantially screen from view from roads. Large scale ground mounted mechanical equipment shall be screened from view with adequate landscape material.

4. All parking lot and building lighting on site shall be a down cast "shoe-box" style or cut-off style and the bulb shall not visible from property lines.

5. All plans shall be subject to the review and approval of the Fire Marshal.

6. All grading and utility plans, or modifications thereof, must be approved by the City Engineer. All comments found on memo from City Engineer dated 5/15/13 must be incorporated into the plans prior to work commencing on the site.

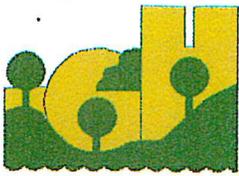
7. The landscape plan shall be revised to provide either more ornamental trees or provide shrubs to satisfy minimum landscape standards. All over story plantings shall be placed outside of drainage and utility easements. Shrubs may be planted in the rain garden at the south end of the site to satisfy landscaping requirements. A revised landscape plan must be approved by city staff prior to issuance of building permits.

**B. Denial** If the Planning Commission does not favor the proposed application, the above request should be recommended for denial. With a recommendation for denial, findings or the basis for the denial should be given.

### **RECOMMENDATION**

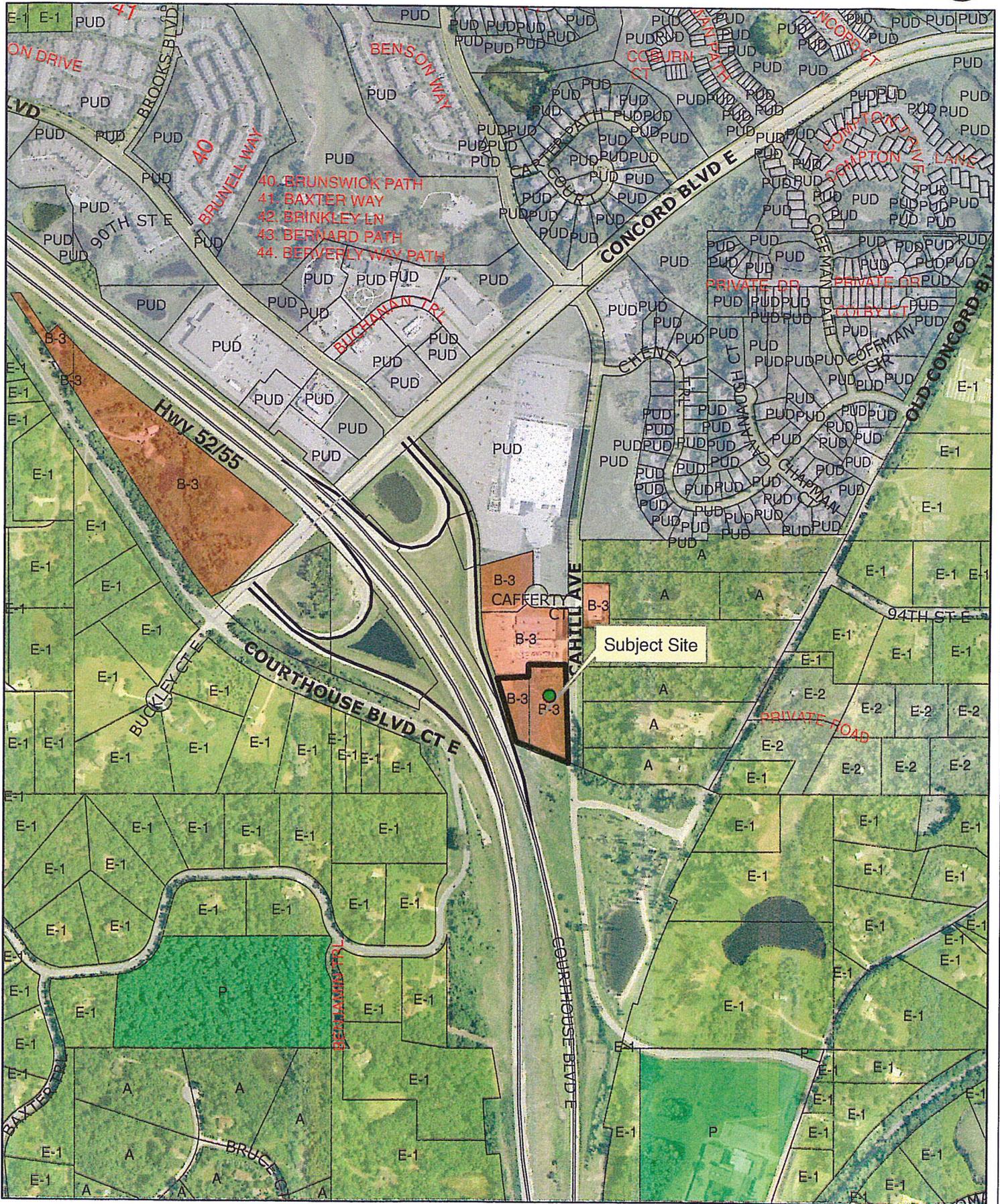
Based on the preceding report, Staff recommends approval of the requests with the conditions listed above.

Attachments Exhibit A - Zoning and Location Map  
Exhibit B - Site Plan  
Exhibit C - Landscape Plan  
Exhibit D - Building Elevations



# Location/Zoning Map

## Case No. 13-18SC





# ABSOLUTE TRAILER ADDITION

City of Inver Grove Heights  
Dakota County, Minnesota

**INDEX :**  
**PRE PLAT :**  
 C-1) EXISTING COND/SITE PLAN  
 C-2) PRELIM. PLAT/LANDSCAPE PLAN  
 C-3) UTILITY PLAN/CONST.DETAIL

**GRADING AND EROSION :**  
 CG-1) GRADING PLAN/EROSION CONTROL

**SITE DATA:**

Current zoning	=	B3-GENERAL BUSINESS
Proposed zoning	=	B3-GENERAL BUSINESS

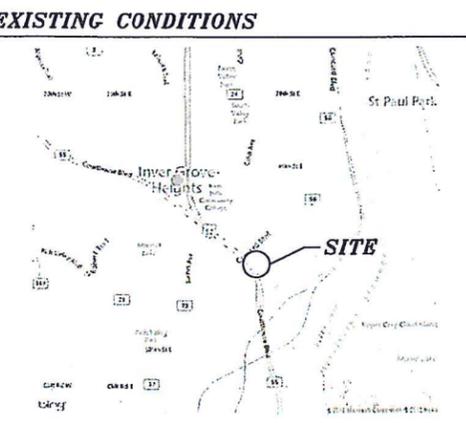
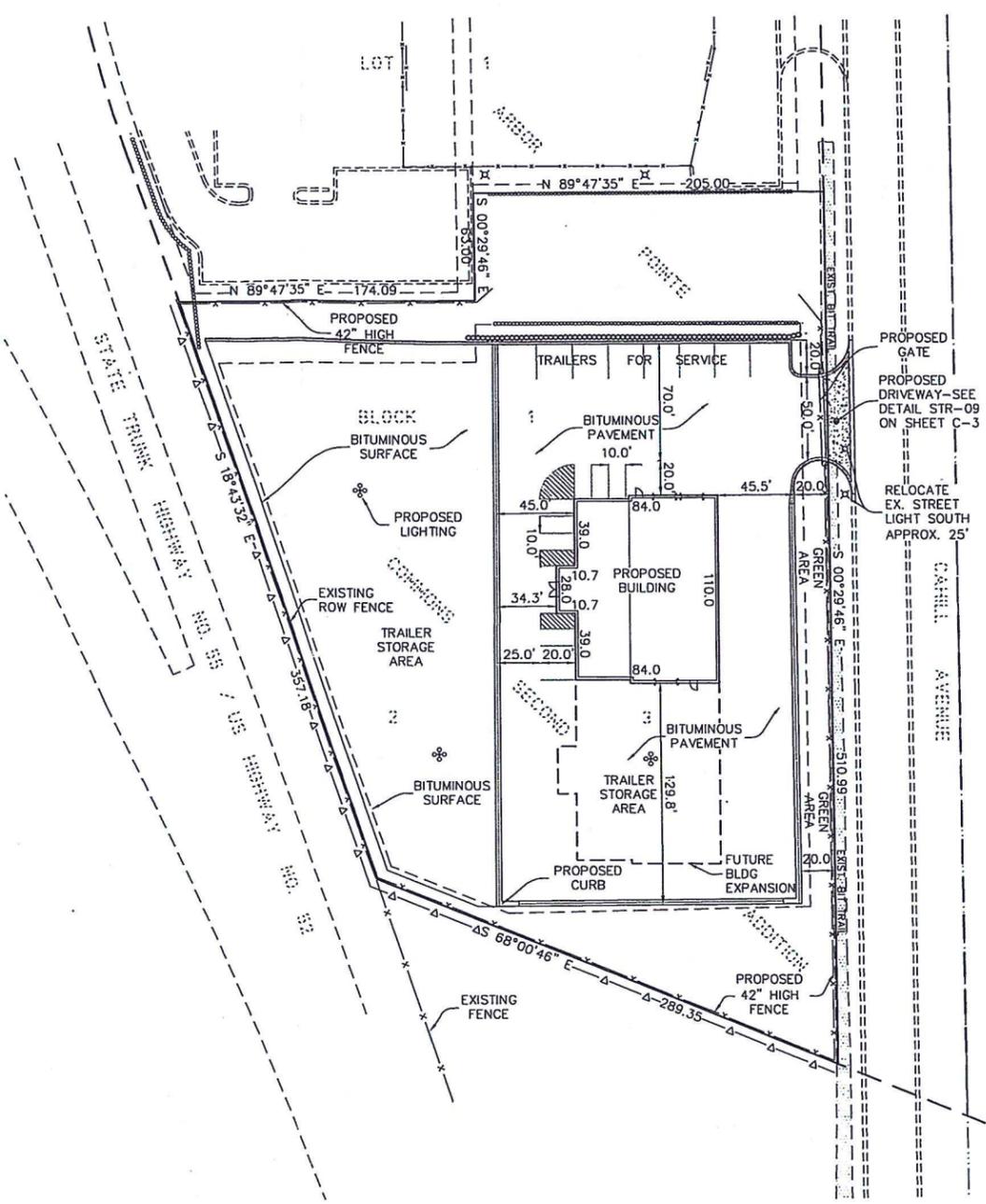
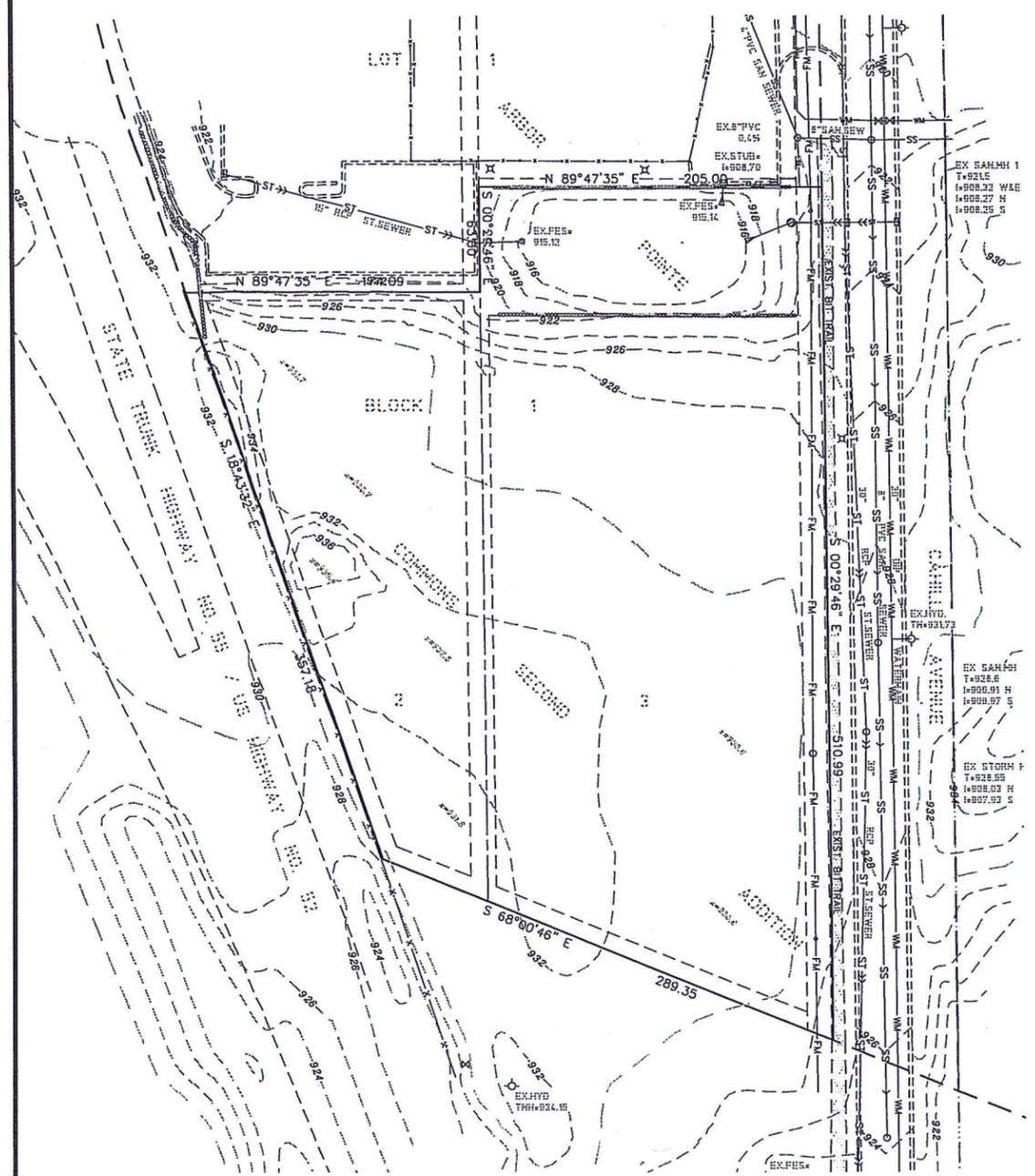
	SQ. FT. ±	ACRES ±
Total Site Area	= 136,997	3.15
Building Area	= 9,411	0.22
Bituminous Lot	= 49,975	1.15
Bituminous Only Area	= 35,702	0.82
Total ImperVIOUS Surface	= 95,088	2.18

**SETBACK REQUIREMENTS:**

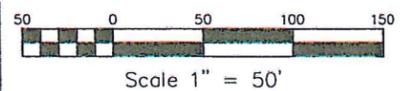
Front Yard	=	30'
Rear Yard	=	30'
Side	=	10'
Abutting E or R District	=	75'
Minimum Lot Width At Setback	=	100'

**LEGEND:**

EXISTING	PROPOSED	
		BEEHIVE
		CATCH BASIN
		FLARED END
		GATE VANE
		HYDRANT
		MANHOLES
		REDUCER
		STREET LIGHT
		CABLE TV PEDESTAL
		ELECTRIC TRANSFORMER
		POWER POLE
		SIGN
		TELEPHONE PEDESTAL
		EXISTING CONTOUR
		EXISTING GRADE ELEVATION
		EXISTING TREE LINE
		EXISTING TREE
		EXISTING RETAINING WALL
		EXISTING SANITARY SEWER
		EXISTING WATERMAIN
		EXISTING STORM SEWER
		EXISTING FENCE
		EXISTING UNDERGROUND ELECTRIC
		EXISTING OVERHEAD ELECTRIC
		EXISTING UNDERGROUND GASLINE
		EXISTING UNDERGROUND TELEPHONE
		EXISTING OVERHEAD TELEPHONE
		PROPOSED CONTOUR
		PROPOSED CONTOUR BY OTHERS
		PROPOSED SANITARY SEWER
		PROPOSED WATERMAIN
		PROPOSED STORM SEWER
		EROSION CONTROL BARRIER
		PROPOSED GRADE
		RETAINING WALL



**PRELIMINARY**  
NOT FOR CONSTRUCTION



PROJECT NUMBER  
122007

REVISIONS	DATE	BY	REMARKS
	5/24/13	gph	Updated Bag (topographical) comments

CERTIFICATION: I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Randall C. Hedlund* Date: 5/24/13  
 MN. LIC. NO. 19576  
 Randall C. Hedlund

PREPARED BY: **HEDLUND SURVEYING**  
 PLANNING ENGINEERING  
 2005 Pin Oak Drive  
 Eagan, MN 55122  
 Phone: (651) 405-6600  
 Fax: (651) 405-6606

SHEET TITLE: **ABSOLUTE TRAILER ADDITION EXISTING COND/SITE PLAN**

PREPARED FOR: **HALLBLADE PROPERTIES, LLC**  
 9601 Jefferson Trail West  
 Inver Grove Heights, MN 55077  
 Phone: (651) 454-8650

DRAWN	CHECKED	DESIGN
gph	rch	gph

SHEET NUMBER  
**C-1**

DATE: 5/6/13  
 REV: 5/24/13

Drawing: H: 2012 Projects\122007\Drawings\122007-Excnd-SiteSht.dwg  
 Layout: Excnd-Site Plan  
 Date: May 23, 2013, 2:39pm  
 X-Ref: Dwg: 122007excnd.dwg  
 X-Ref: Dwg: 122007topo.dwg  
 X-Ref: Dwg: 122007topo.dwg

# ABSOLUTE TRAILER ADDITION

City of Inver Grove Heights  
Dakota County, Minnesota

## LEGAL DESCRIPTION :

Lots 2 and 3, BLOCK 1 ARBOR POINT COMMONS SECOND ADDITION, City of Inver Grove Heights, Dakota County Minnesota and reserving easements of record.

## PLANTING NOTES:

Contractor shall provide one year guarantee of all plant materials. The guarantee begins on the date of the Landscape Architect's written acceptance of the final planting. Final payment shall not be made until one year after guarantee commencing date.

All plants to be well watered on all sides.

Plants to be installed as per standard ANSI planting practices.

Use minimum 12" long planting soil on trees.

Contractor shall verify locations with all utilities prior to installation of plants.

Shading of trees optional; reposition if not plant after one year.

Wrap all smooth-barked trees with tree wrap and cotton. Remove by April.

Open top of tree up on 60" maximum; remove pot on installed plants; split and break apart pot feet.

Final plants as necessary per standard nursery practices.

Owner shall be responsible for maintenance after acceptance of the work by the Owner.

Plants shall be immediately planted upon arrival at site. Properly label in materials if necessary for temporary.

Shaded horizontal mulch (4" - 6" deep) shall be shall be placed around all new trees and shrub stakes. Diameter of mulched areas shall be a minimum of 4' from the trunk or stem of all trees and shrubs. Mulch edges shall be used around all mulched areas.

## PLANT LIST:

QTY.	KEY	SYM	COMMON NAME	BOTANICAL NAME	SIZE / POTT.
8	BF	●	Black Hills Spruce	Picea canadensis	6" P&P
8	SP	●	Scotch Pine	Picea sitchensis	6" P&P
8	NM	⊗	Honey Maple	Acer glabrum	2.5" P&P
8	SC	⊗	Stewart's Crab	Malus 'Stewart'	1.5" P&P

PROJECT NUMBER  
122007

REVISIONS	DATE	BY	REMARKS
Updated Big	5/24/13	gjh	for public comment

CERTIFICATION: I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Date: 5/24/13  
Randall C. Hedlund  
M.N. LIC. NO. 19576

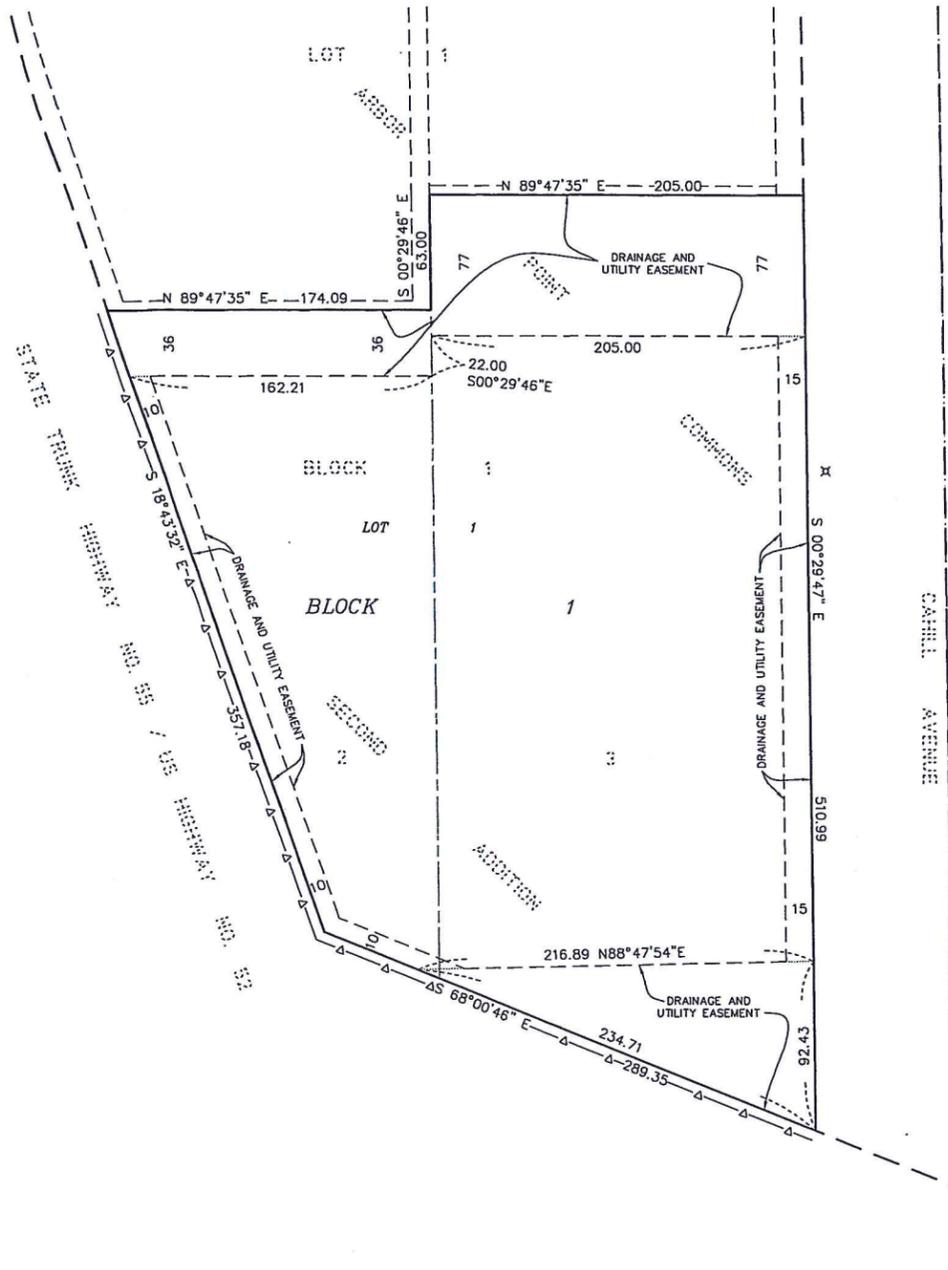
PREPARED BY:  
**HEDLUND**  
ENGINEERING SURVEYING  
2005 Pin Oak Drive  
Eagan, MN 55122  
Phone: (651) 405-6600  
Fax: (651) 405-6606

SHEET TITLE:  
**ABSOLUTE TRAILER ADDITION  
PRE PLAT/LANDSCAPE PLAN**

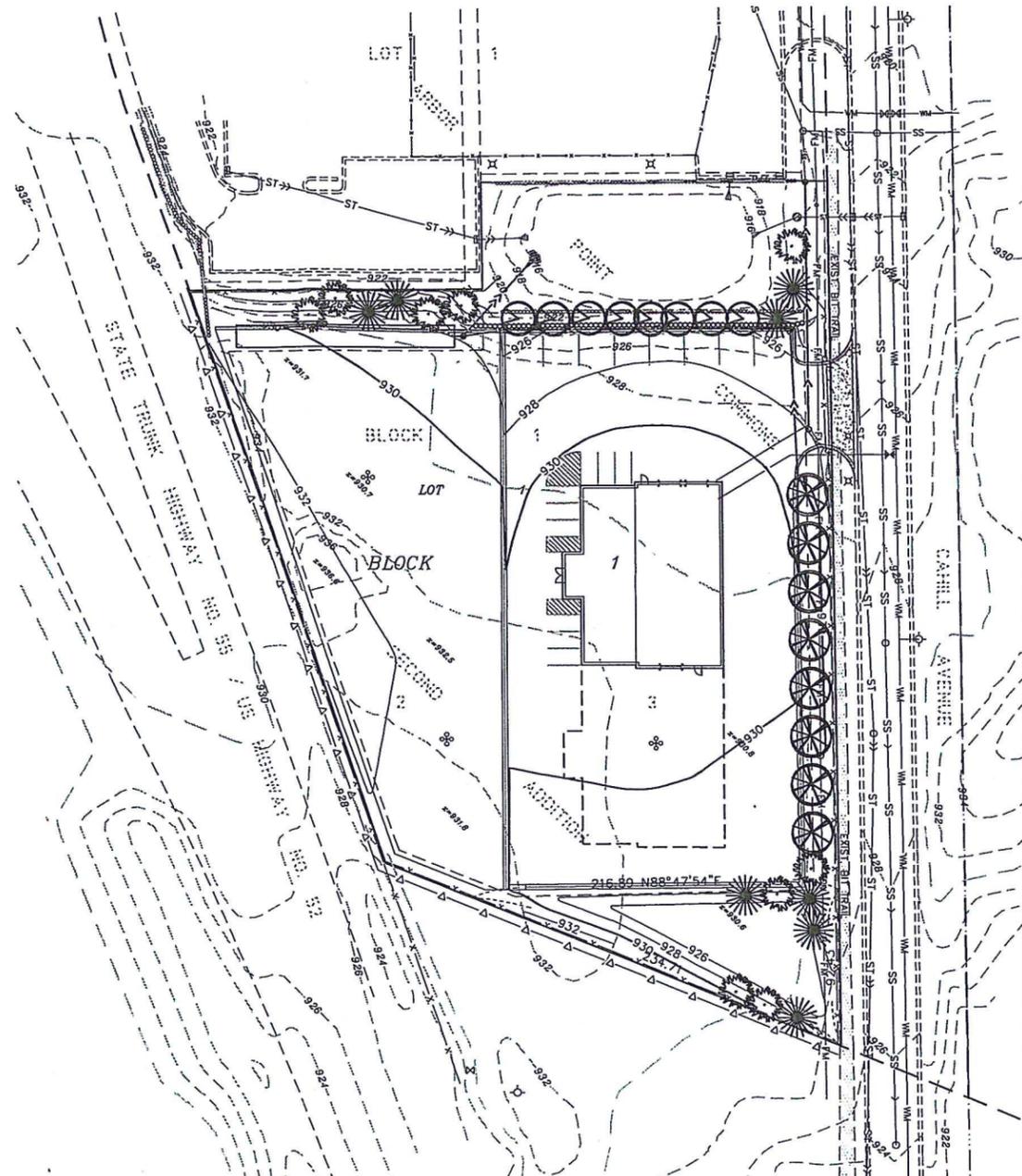
PREPARED FOR:  
**HALLBLADE PROPERTIES, LLC**  
888 Westerson Trail West  
Inver Grove Heights, MN 55077  
Phone: (651) 454-8650

DATE	REVISION	DRAWN	CHECKED	DESIGN
5/6/13				
5/24/13				

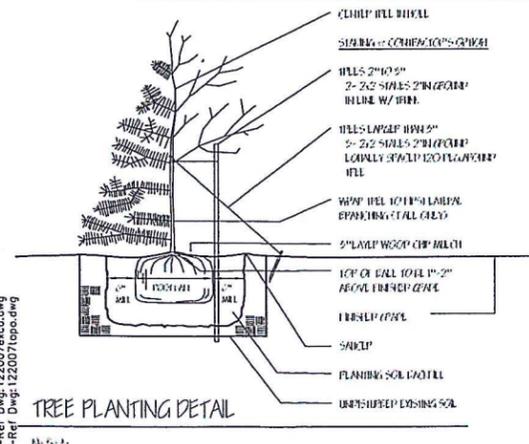
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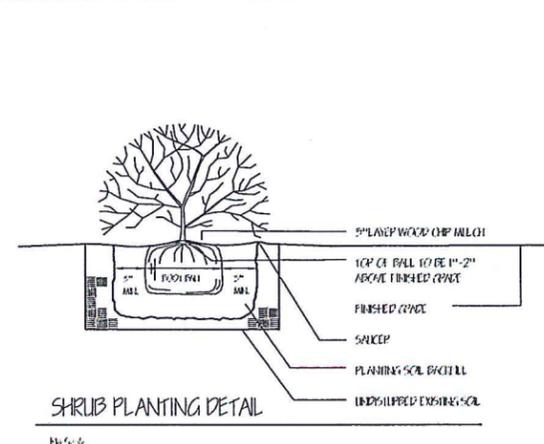
PRELIMINARY PLAT



LANDSCAPE PLAN



TREE PLANTING DETAIL



SHRUB PLANTING DETAIL

**PRELIMINARY**  
NOT FOR CONSTRUCTION



Scale 1" = 50'

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 X-Ref: 122007, topo.dwg

# ABSOLUTE TRAILER ADDITION

City of Inver Grove Heights  
Dakota County, Minnesota

PROJECT NUMBER		122007	
BY	DATE	BY	DATE
gjh	5/24/13	gjh	
REVISIONS	REMARKS	UNLESS	COMMENTS
	Updated Bid		

### LEGEND:

- SS — SS — EXISTING SANITARY SEWER
- WM — WM — EXISTING WATERMAIN
- ST — ST — EXISTING STORM SEWER
- FM — FM — EXISTING FORCEMAIN
- X — X — EXISTING FENCE
- < — < — PROPOSED SANITARY SEWER
- | — | — PROPOSED WATERMAIN
- << — << — PROPOSED STORM SEWER

### GENERAL CONSTRUCTION NOTES:

- Existing Utility Locations As-Per As-Built Plans Provided By The City of Inver Grove Heights and Hedlund Engineering.
- All Existing Utilities or Improvements, Including Walks, Curbs, Pavement and Parkways Damaged or Removed During Construction Shall be Promptly Restored to Their Respective Original Condition.
- The Contractor Shall Notify all Utility Companies Prior to Construction to Verify in the Field all Existing and Underground Utilities Adjacent to the Project, and be Responsible for Protection of the same.
- For on Site Location of all Underground Utilities Call Gopher State One Call System (651)454-0002
- The Contractor Shall Beware of Potential Conflicts with Existing Utilities as Indicated on the Plans. The Contractor Shall Excavate Around Utilities to Determine Elev. Before Beginning Construction.
- The Contractor Shall be Responsible to Lower Watermain During Install. Where Necessary To Avoid Service Conflicts.

CERTIFICATION: I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

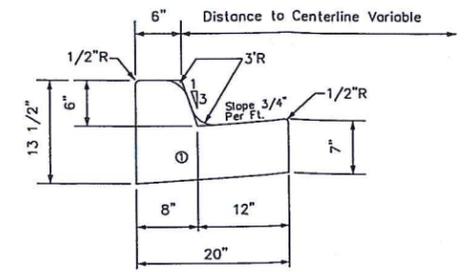
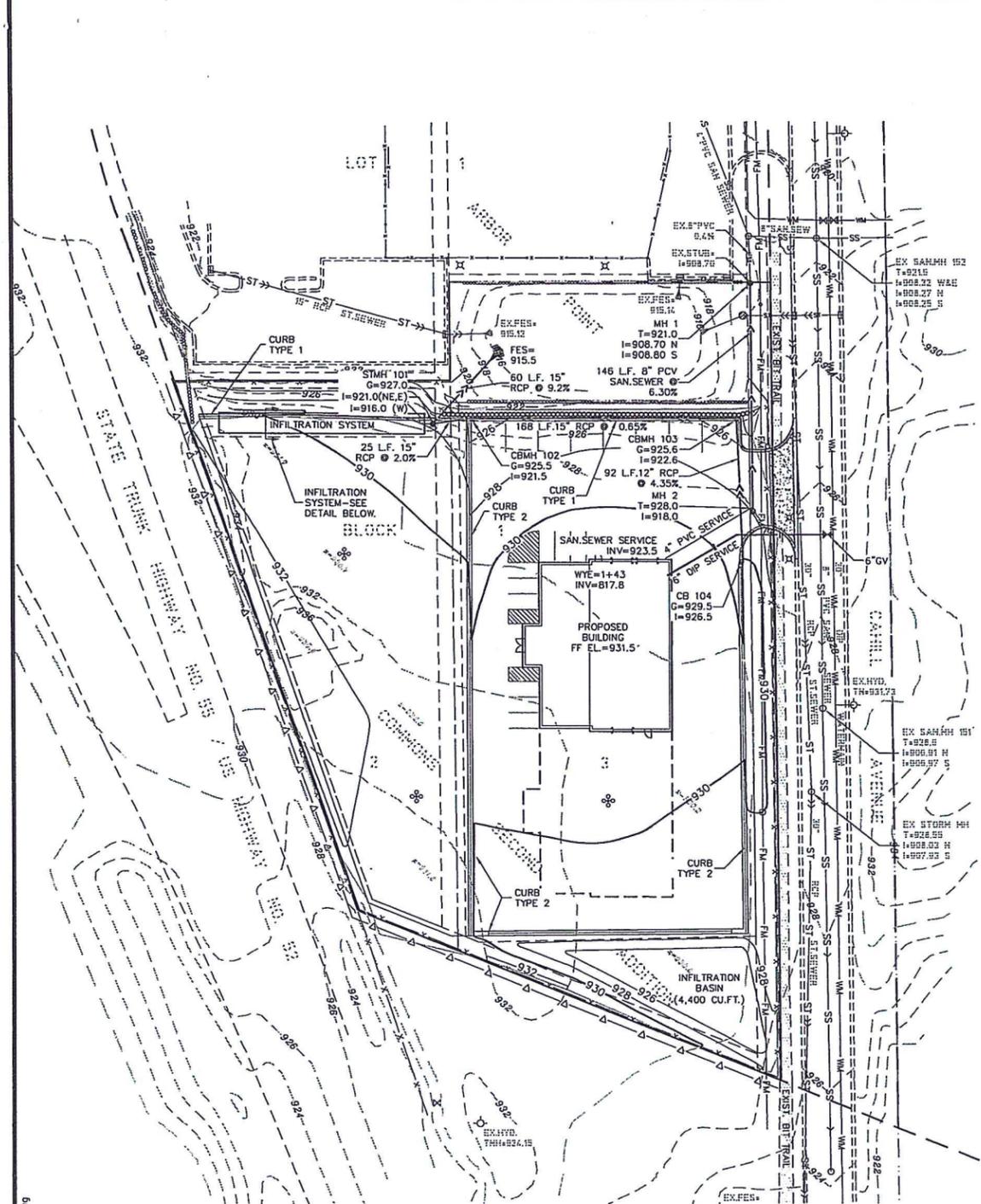
*Randall C. Hedlund*  
Randall C. Hedlund  
Mn. Lic. No. 19576

PREPARED BY:  
**HEDLUND** SURVEYING  
ENGINEERING  
PLANNING  
2005 Pin Oak Drive  
Eagan, MN 55122-6800  
Phone: (651) 403-6800  
Fax: (651) 403-6806

SHEET TITLE: **ABSOLUTE TRAILER ADDITION UTILITY PLAN/DETAILS**

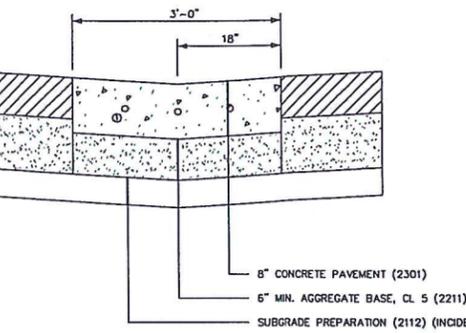
PREPARED FOR:  
**HALBLADE PROPERTIES, LLC**  
9601 Jefferson Trail  
Inver Grove Heights, MN 55077  
Phone: (651) 494-6650

DATE	5/6/13
REV.	5/24/13



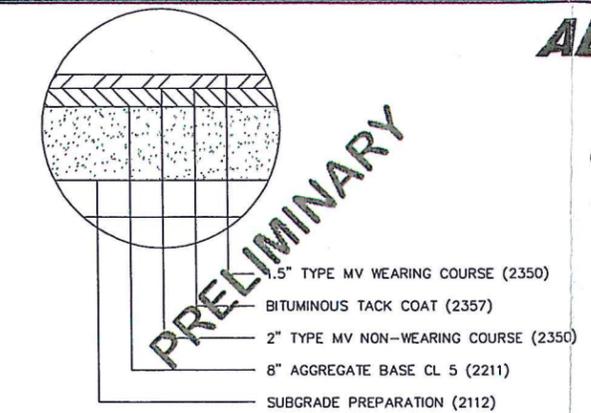
1 CONCRETE CURB DETAIL  
MnDOT B6-12

NOTE:  
Place # 4 Bar As Shown Where Curb Crosses Utility Trenches, With 1-1/2" Cover.

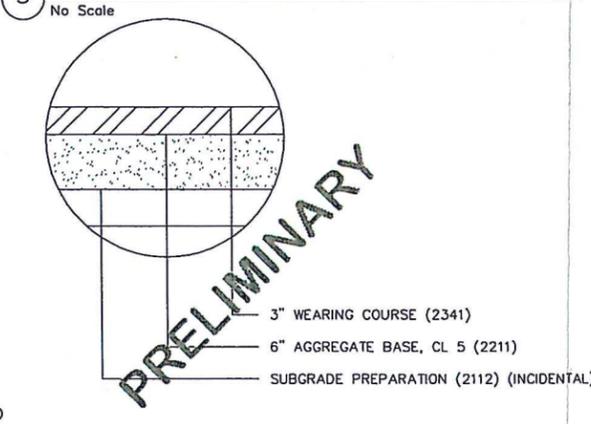


2 CONCRETE VALLEY CUTTER

NOTE:  
Place # 4 Bar As Shown.

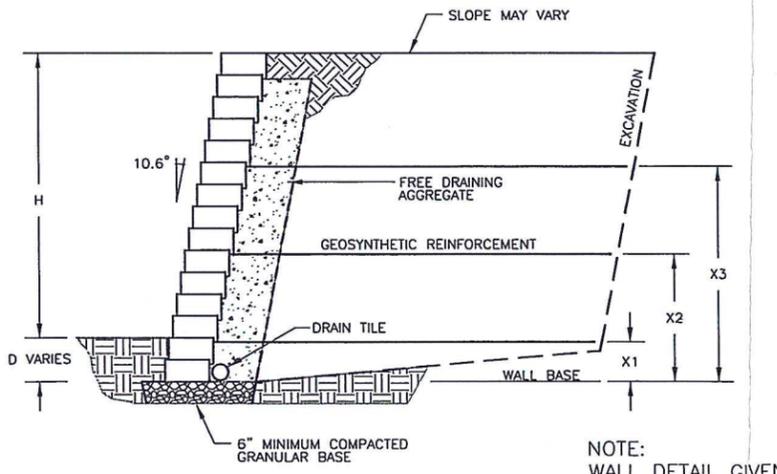


3 BITUMINOUS PAVEMENT SECTION



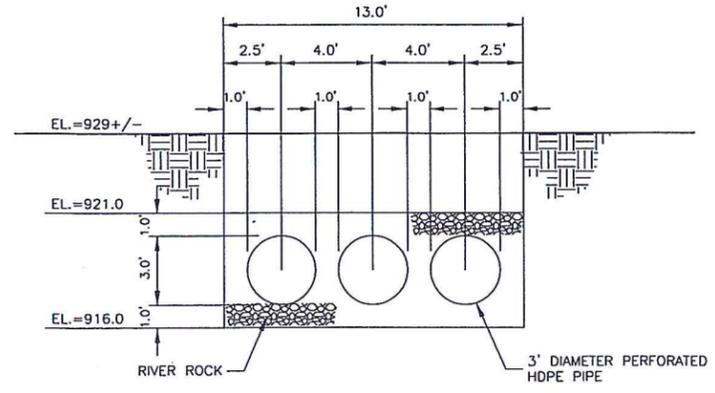
4 BITUMINOUS DRIVEWAY SECTION

NOTE:  
SLOPE MAY VARY



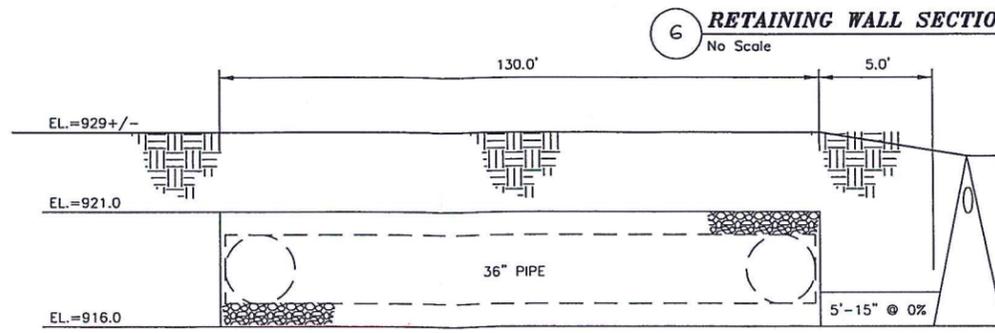
6 RETAINING WALL SECTION

NOTE:  
WALL DETAIL GIVEN FOR REFERENCE ONLY. RETAINING WALL TO BE DESIGNED BY OTHERS



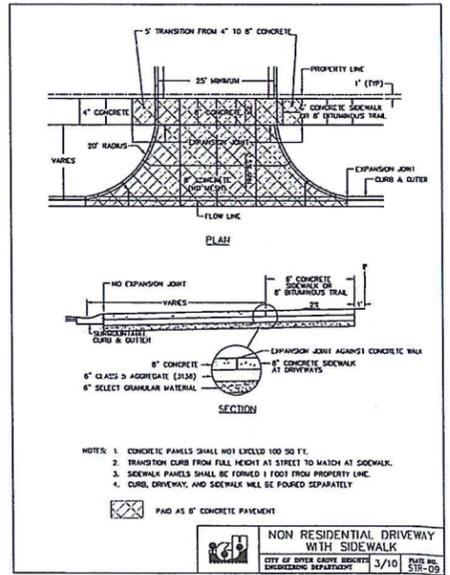
5 INFILTRATION SYSTEM CROSS SECTION

Construct to Dakota L.I.D. Standards



INFILTRATION SYSTEM PROFILE VIEW

Construct to Dakota L.I.D. Standards



NON RESIDENTIAL DRIVEWAY WITH SIDEWALK

CITY OF INVER GROVE HEIGHTS 3/16

SCALE 1" = 50'

**PRELIMINARY NOT FOR CONSTRUCTION**

Scale 1" = 50'

Drawing: H: 02012 Project: 0122007 Cdwg: Submit to SHS 0122007-018 SH - Const Details.dwg  
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 Date: May 23, 2013 2:55pm  
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 X-Ref Dwg: 122007base.dwg  
 X-Ref Dwg: 122007topo.dwg

# ABSOLUTE TRAILER ADDITION

City of Inver Grove Heights  
Dakota County, Minnesota

PROJECT NUMBER	122007
BY	gjh
DATE	5/24/13
REVISIONS	
REMARKS	Updated Big Top/plan/ty comments

### GENERAL EROSION CONTROL NOTES:

#### EROSION CONTROL SCHEDULE:

- 1.) INSTALL EROSION CONTROL MEASURES PRIOR TO ANY LAND DISTURBANCE. INSTALL SEDIMENT FILTERS IMMEDIATELY FOLLOWING INSTALLATION OF STRUCTURE.
- 2.) SLOPES MUST BE STABILIZED BY BEING SEEDED AND COVERED WITH AN EROSION CONTROL BLANKET OR MULCHED WITH A TACKIFYING AGENT AS SOON AS POSSIBLE AFTER COMPLETION OF GRADING.
- 3.) ALL EROSION CONTROL INSTALLATIONS SHALL REMAIN IN PLACE AND BE MAINTAINED IN GOOD CONDITION BY THE CONTRACTOR/PERMITEE UNTIL THE SITE HAS BEEN RE-VEGETATED, AT WHICH TIME THEY SHALL BE REMOVED. FOR PROPOSED PAVED SURFACE AREA, THE CONTRACTOR MAY REMOVE NECESSARY SILT FENCING TO CONSTRUCT ROADWAY WHILE MAINTAINING ADEQUATE EROSION CONTROL IN ADJACENT AREAS.
- 4.) SUFFICIENT TOPSOIL SHALL BE STOCKPILED TO ALLOW FOR THE REPLACEMENT OF A MINIMUM OF 4" OF TOPSOIL FOR DISTURBED AREAS THAT ARE TO BE REVEGETATED.
- 5.) THE CONTRACTOR/PERMITEE SHALL SCHEDULE SITE GRADING, UTILITY INSTALLATION AND ROADWAY CONSTRUCTION SO THAT THE GENERAL SITE CAN BE MULCHED AND RE-SEEDED SOON AFTER DISTURBANCE. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED WITHIN 14 DAYS AFTER COMPLETION OF FINAL GRADING OR AFTER 14 DAYS OF GRADING INACTIVITY. ALL MULCH MATERIAL SHALL BE DISCED INTO THE SOIL IN DIRECTION PERPENDICULAR TO THE STORMWATER FLOW OVER SUCH AREAS.
- 6.) REVEGETATE WITH MNDOT MIX 50B OR 60B AT 75 LBS/ACRE WITH TYPE 1 MULCH AT 2000 LBS/ACRE.

#### EROSION CONTROL MAINTENANCE PROGRAM:

- 1.) INSPECT CONSTRUCTION SITE ONCE EVERY 7 DAYS AND WITHIN 24 HOURS OF A RAINFALL EVENT OF MORE THAN 1/2 INCHES IN 24 HOUR PERIOD.
- 2.) SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- 3.) SILT FENCE FABRIC SHALL BE REPLACED PROMPTLY WHEN IT DECOMPOSES OR BECOMES INEFFECTIVE BEFORE THE BARRIER IS NO LONGER NECESSARY.
- 4.) ALL SOILS TRACKED ONTO PAVEMENT SHALL BE REMOVED DAILY.
- 5.) ANY SEDIMENT REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER FABRIC IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED WITH THE APPROPRIATE SEED MIX.
- 6.) IN THOSE AREAS WHERE WOOD FIBER BLANKET OR OTHER SLOPE STABILIZATION METHOD HAS FAILED, THE SLOPE SHALL BE REESTABLISHED, SEED AND TOPSOIL REPLACED, AND ADDITIONAL SLOPE TREATMENT INSTALLED.
- 7.) SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPWARD SLOPE AREA HAS BEEN PERMANENTLY STABILIZED. REMOVAL IS REQUIRED WITH ALL TEMPORARY EROSION CONTROL FACILITIES (SEDIMENT FILTERS, HAY BALES, ETC.) ONCE SITE IS PERMANENTLY STABILIZED BY THE BUILDER.
- 8.) ALL PERMANENT SEDIMENTATION BASINS MUST BE RESTORED TO THEIR DESIGN CONDITION IMMEDIATELY FOLLOWING PERMANENT STABILIZATION OF THE SITE.

### GENERAL GRADING NOTES:

- 1.) UNDERLYING TOPOGRAPHY FROM INFORMATION PROVIDED BY DAKOTA COUNTY AND FIELD SHOTS BY HEDLUND ENGINEERING.
- 2.) EXISTING UTILITY LOCATIONS AS-PER PLANS PROVIDED BY CITY OF INVER GROVE HEIGHTS AND FIELD SHOTS BY HEDLUND ENGINEERING.
- 3.) SEE GRADING AND EROSION CONTROL DETAIL SHEET FOR DETAILED INFORMATION.

### LEGEND:

	EXISTING CONTOUR
X = 920.8	EXISTING GRADE ELEVATION
	EXISTING TREE LINE
	EXISTING TREE
-ST -ST-	EXISTING STORM SEWER
-x -x-	EXISTING FENCE
	PROPOSED CONTOUR
	PROPOSED STORM SEWER
	PROPOSED GRADE
	RETAINING WALL
	DENOTES AS-BUILT GRADE

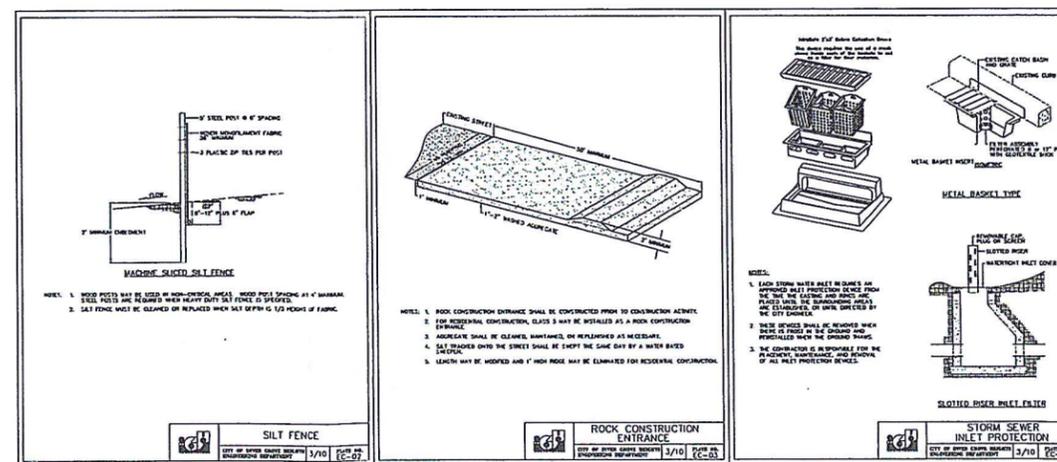
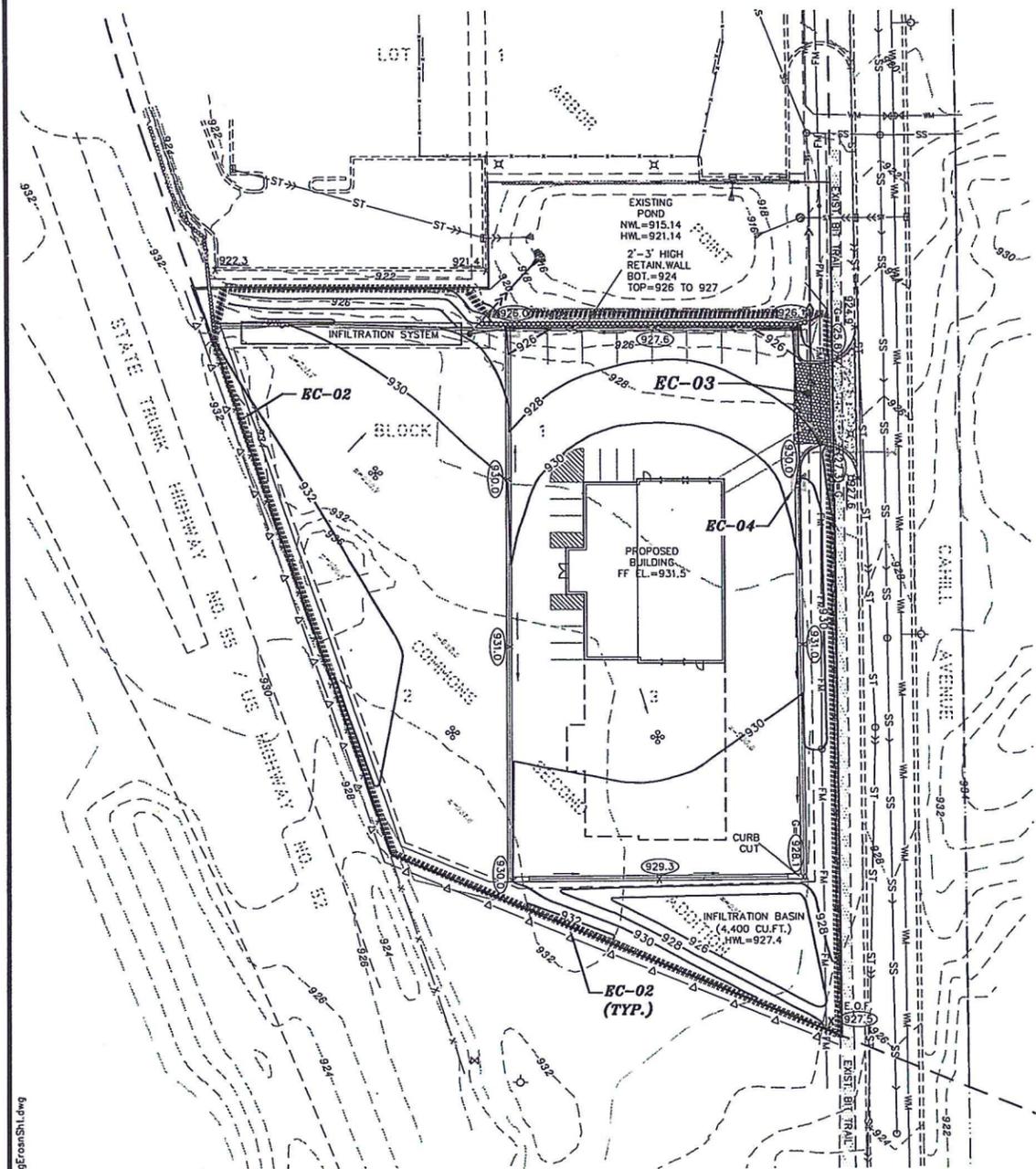
### EROSION CONTROL LEGEND:

	ROCK CONSTRUCTION ENTRANCE
	SEDIMENT TRAP OUTLET
	TREE PROTECTION
	SILT FENCE

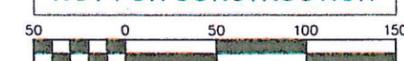
TOTAL DISTURBED AREA = 2.68 ACRES  
TOTAL IMPERVIOUS SURFACE = 2.13 ACRES

### BENCHMARK

TNH LOCATION DESCRIPTION  
ELEV. = 000.00



**PRELIMINARY**  
NOT FOR CONSTRUCTION



Scale 1" = 50'

CERTIFICATION:  
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
*Randall C. Hedlund*  
Randall C. Hedlund  
Date: 5/24/13  
MN. LIC. NO. 19576

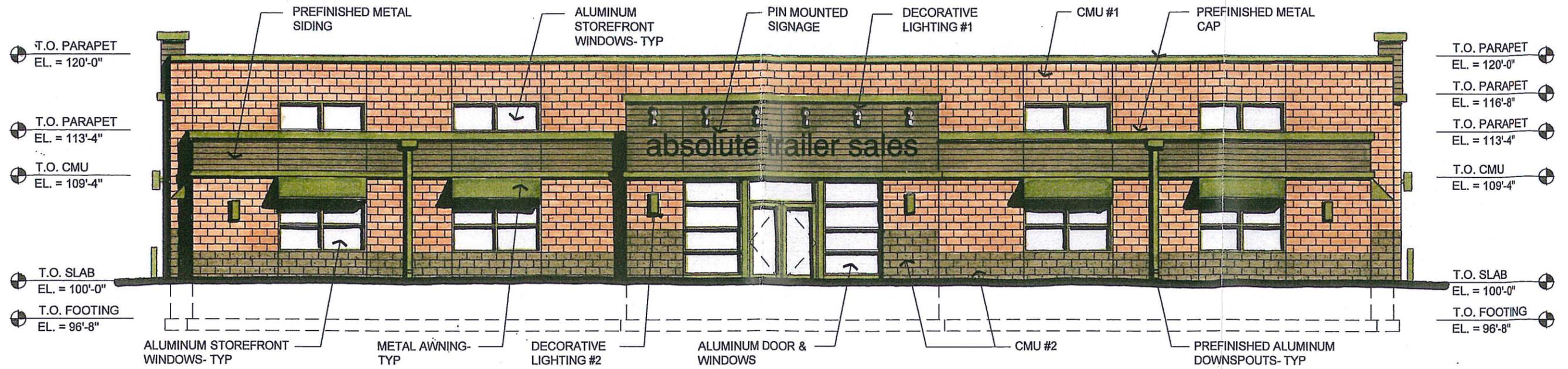
PREPARED BY:  
**HEDLUND** SURVEYING  
ENGINEERING  
PLANNING  
2005 Pin Oak Drive  
Eagan, MN 55122  
Phone: (651) 405-6600  
Fax: (651) 405-6606

SHEET TITLE: **ABSOLUTE TRAILER ADDITION GRADING AND EROSION PLAN**  
PREPARED FOR: **HALBLADE PROPERTIES, LLC**  
9601 Jefferson Trail West  
Inver Grove Heights, MN 55077  
Phone: (651) 454-8650

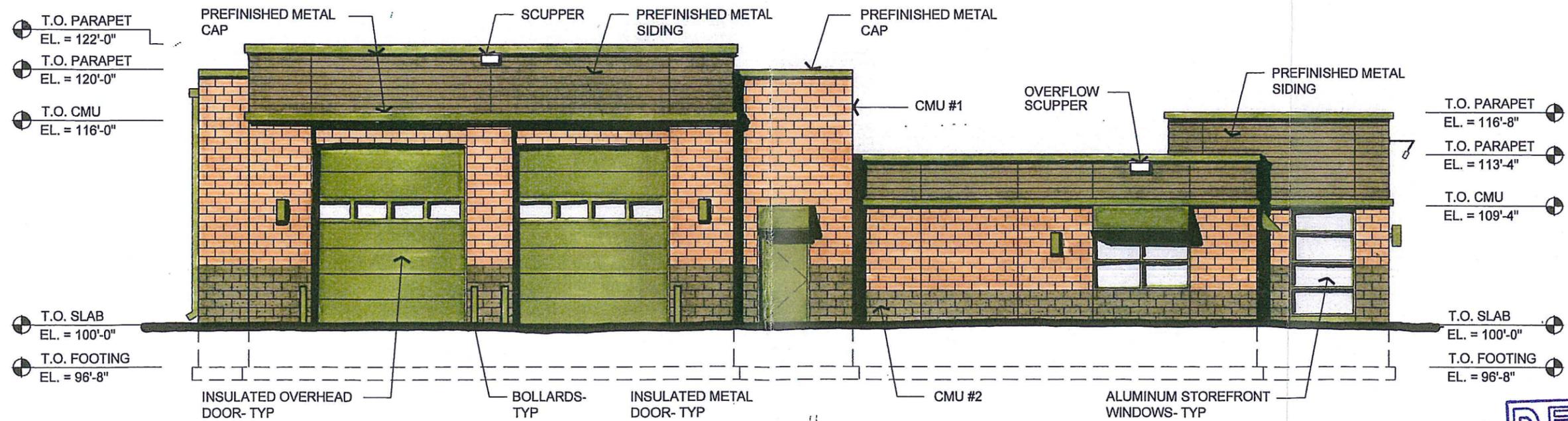
DRAWN	CHECKED	DESIGN
gjh	---	rch
SHEET NUMBER		
<b>CG-1</b>		
DATE	5/6/13	
REV	5/24/13	

Drawing: H:\2012 Projects\122007\dwg\Submittal\122007-GradingErosionSh1.dwg  
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X-Ref: Dwg: 122007\bas.dwg  
X-Ref: Dwg: 122007\exc.dwg  
X-Ref: Dwg: 122007\topo.dwg

Site	Stratum	Surf1	Surf2	Unadjusted Cut	Fill	Net	Method	
122007	122007 stratum	ex	topo	prop	topo	3833	1452	2381 (C) Grid



1 WEST ELEVATION  
N.T.S.



2 NORTH ELEVATION  
N.T.S.

RECEIVED  
MAY 6 2013

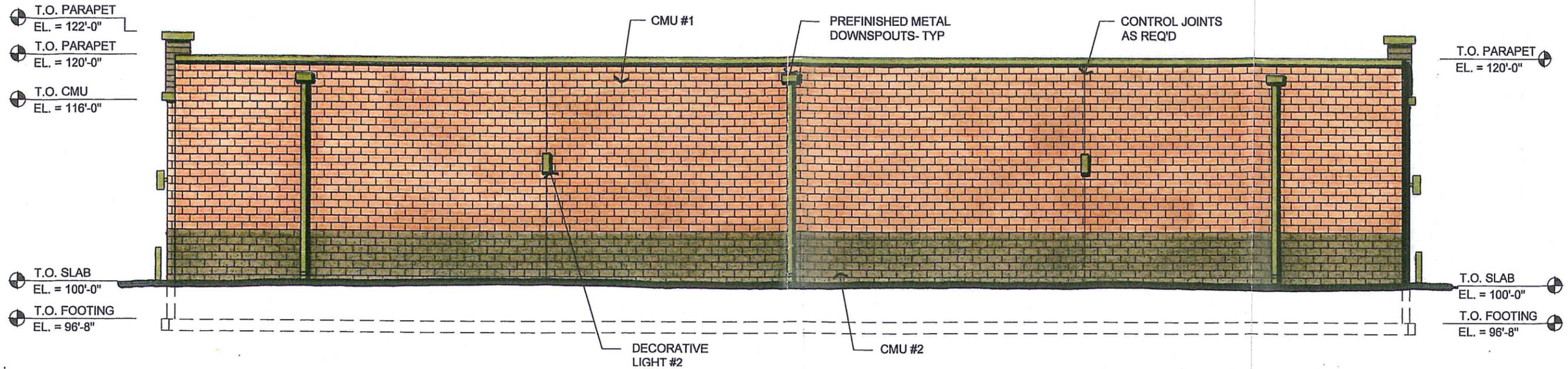


**ABSOLUTE TRAILER SALES**

9273 CAFFERTY COURT INVER GROVE, MINNESOTA 55076

538 LOVELL #7 ROSEVILLE, MINNESOTA 55113 PHONE: 612.766.8192 EMAIL: idhewett@msn.com

**A3**



1 EAST ELEVATION  
N.T.S.



2 SOUTH ELEVATION  
N.T.S.

RECEIVED  
MAY 6 2013



**ABSOLUTE TRAILER SALES**

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538 LOVELL #7 ROSEVILLE, MINNESOTA 55113 PHONE: 612.766.8192 EMAIL: tdhewett@msn.com

**A4**